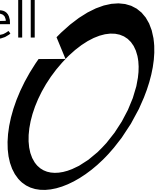


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Jacks Point Village CDP

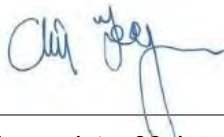
Report to Environment Court on Consultation and Options
Prepared for Jacks Point Village

30 June 2021

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Prepared by:	Chris Ferguson Senior Planner / Partner Boffa Miskell Limited	
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1.0 Introduction

The purpose of this document is to report on the outcome of a consultation process that has been initiated at the direction of the Environment Court for the development of a Comprehensive Development Plan (**CDP**) for Jacks Point Village, Chapter 41 of the Proposed District Plan (**PDP**).

The structure of this report addresses the background to the appeals made on the Village area of the Jacks Point zone, the process of consultation and reporting directed by the Environment Court, the outcome and feedback from the consultation process, and a consideration of options for the development of the CDP taking into account the feedback received.

An updated CDP together with the associated changes to Chapter 41 are summarised and appended to this report.

Boffa Miskell has been engaged by Jacks Point to assemble the feedback received on the draft CDP material and to provide advice on the structure of the proposed CDP and associated changes to Chapter 41.

2.0 Background

2.1 Jacks Point appeals to Chapter 41 Jacks Point Zone

Jacks Point's Appeal to the Council's decision on the PDP included a number of related provisions for the Jacks Point Village Activity Area. The appeal by Jacks Point seeks to modify the Comprehensive Development Plan (CDP) provisions (Policy 41.2.1.19 and associated Rule 41.4.2.1) relating to the Village Activity Area by removing the requirement for a CDP to be embedded into the District Plan before the controlled activity status applied to anticipated activities can be applied. The new and modified rules sought the following:

- a) To allow as an information requirement, the inclusion of a CDP for any application for resource consent for any of the controlled activities listed under Rule 41.4.2.1.
- b) The introduction of a new restricted discretionary standard - if a consent application for the use or development of land within the JP(V) Activity Area does not contain the requisite CDP information and associated controls, the activity status become restricted discretionary.
- c) The introduction of a new restricted discretionary standard if the CDP requirement is provided but for an area less than the whole of the JP(V) Activity Area.

Within the JP(V) Activity Area Jacks Point sought to amend Rule 41.5.2.1 to distinguish between commercial activity and retailing, restricting retailing to 200m² of net floor area as per the Decision, and to restrict commercial activities to 300m² net floor area (rather than 200m²).

Jacks Point also sought to amend the height rules that applies within the JP(V) Activity Area to remove the limitation of 3 storeys, while retaining the overall limitation on height of 12m (Rule 41.5.2.4).

2.2 Environment Court Hearing (Topic 22)

The Environment Court hearing for the Jacks Point appeals (Topic 22) concluded on 25 September 2020. In terms of the appeals made by Jacks Point to the Village Activity Area provisions (as detailed above), consensus was reached between Jacks Point, the Council and other parties on a process to advance these matters through the potential incorporation of a CDP through an application to use section 293 to incorporate the CDP into Chapter 41, together with related changes to the Chapter 41 provisions and the Structure Plan.

As a starting point that agreement involved incorporation of the CDP into the PDP and related changes to the provisions within Chapter 41 and the Structure Plan. The draft CDP proposed by Jacks Point as the starting point for the consultation process covered land within the Village and Education Activity Areas, along with a portion of Open Space Golf Activity Area on the western side of Lake Tewa.

2.3 The proposed Section 293 Process

Following the completion of the hearing Jacks Point consulted with the Council and the parties and agreed the following:¹

- a) It is agreed the appropriate body to facilitate consultation with residents of the Jacks Point Zone is the Residential Precinct Committee (the Committee) of the Jacks Point Residents & Owners Association Incorporated (JPROA). Jacks Point confirms that the current chair of the Committee, Mr Coburn has resigned, and Mr Geddes has been appointed as the new Chair of the Committee by the Residential Precinct Controlling Member. The Residential Precinct Controlling Member will relinquish Residential Precinct Controlling Member status prior to the 2020 Annual General Meeting, to ensure that the Residential Precinct Controlling Member status is relinquished prior to the election of the new Residential Precinct Committee and community consultation getting underway.
- b) Jacks Point will prepare an updated and more detailed "draft for consultation" version of the Comprehensive Development Plan (CPD), taking into account matters raised during the hearing, as well as conferring with the Ministry of Education and the parties to the Appeals. The draft for consultation will be formally provided to the parties, the Committee and the Ministry of Education by 13 November 2020.
- c) Jacks Point will confer with Council and the Committee on the consultation process to take place after 13 November. It is agreed that this will include workshops with residents of the Jacks Point Zone, including residents of the Hanley's Farm part of Jacks Point Zone (who are not members of JPROA), as well as a means for the Ministry of Education to provide feedback. The proposed period for consultation on the draft CDP is from 13 November to the end of January 2020, to take into account that some of the owners of properties within the Jacks Point Zone are holiday home owners who may not be visiting Jacks Point until the Christmas holidays.

¹ Maree Baker-Galloway "Memorandum of Counsel responding to Environment Court directions on Topic 22: Jacks Point" (14 October 2020)

- d) Consultation on the draft CPD will include one or more workshops attended by the parties, the Committee, and Jacks Point, as well as the person or persons responsible for preparation of the draft CPD. At the election of the parties or the Committee, their advisers on landscape, urban design and planning issues. The Council will provide input through staff or independent consultants on landscape, urban design, planning and any other relevant issues.
- e) The draft CPD together with any supporting material, including plans, diagrams and text, is to be provided by Jacks Point to the parties, the Committee, and the Council at least 10 working days before the first workshop. Within 7 days of the first workshop having concluded, Jacks Point will provide a response to the submissions or proposals presented at the workshop seeking amendments or additions to the draft CPD (indicating acceptance or partial rejection or rejection, in which case reasons for the rejection or partial rejection shall be supplied).
- f) The workshop or workshops shall conclude with a feedback workshop to provide a chance for the parties (including Council), the Committee or Jacks Point residents to consult with Jacks Point in respect of the issues raised and how those matters have been met by acceptance or rejection or partial rejection.
- g) Following this consultation period, Jacks Point will confer with Council and the Committee on the preparation of the following, to be lodged by 26 February:
 - i. a report summarising the consultation process and options addressed through that process;
 - ii. an updated CDP and any associated changes required to the Chapter 41 – Jacks Point Zone provisions;
 - iii. a request for the Court to direct notification of the CDP to the parties, the Committee and Ministry of Education for submissions; and
 - iv. Leave to be reserved to amend, or for parties to seek amendments to, the final directions sought arising from matters that may arise during the consultation process (including as to the potential for wider notification beyond the parties noted in (g)(iii).

2.4 Environment Court Directions and Timetable for Consultation

On 15 October 2020, the Environment Court issued a minute directing Jacks Point to provide the parties, Ministry of Education and the Committee an updated draft Comprehensive Development Plan for consultation (by 13 November 2020).

The Minute directed that Jacks Point, QLDC and the Jacks Point Residents and Owners Associated Residential Precinct Committee confer on and undertake consultation with the Ministry of Education and the Jacks Points residents from 13 November 2020 to 12 February 2021.

In the Court's minute dated 15 October 2020 the Court directed the timetable agreed by the parties² in respect of consultation leading up to formal request to the Court to direct notification

² Memorandum of Counsel seeking directions – topic 22 s 293, 14 October 2020, paragraph 19

of a Comprehensive Development Plan (CDP) pursuant to section 293. The directed timetable was as follows:

- a) Jacks Point is to provide the parties, Ministry of Education and the Residential Precinct Committee (**the Committee**) of the JPROA an updated draft Comprehensive Development Plan for consultation by 13 November 2020.
- b) Jacks Point, Council and the Committee will confer on and undertake consultation with Ministry of Education and Jacks Point residents from 13 November 2020 to 12 February 2021.
- c) Jacks Point will confer with Council and the Committee on the preparation of the following, to be lodged by 26 February:
 - i. a report summarising the consultation process and options addressed through that process;
 - ii. an updated Comprehensive Development Plan and any associated changes required to the Proposed District Plan provisions; and
 - iii. a formal request for the Court to direct notification of the Comprehensive Development Plan to the parties, the Committee and Ministry of Education for submissions.
- d) Leave was reserved for parties to apply for further or other directions.

An updated draft for consultation was provided on 13 November and then a further updated draft along with supporting information was provided to the residents (and general public) through the Jacks Point website on 24 December.

2.4.1 CDP Consultation Version (November 2020)

In accordance with the court's minute (October 2020) a consultation draft of the CDP was provided to the QLDC, parties to the Jacks Point appeals and members of the JPROA Resident's Committee on 13 November 2020. The November 2020 Consultation Version of the CDP is attached within **Appendix 1**.

The consultation version of the CDP was uploaded onto the Jacks Point Website on 24 December 2020.

The consultation draft included the detailed plans forming part of the CDP (for inclusion into Chapter 41), an associated summary of the proposed activities and standards within each precinct, the proposed changes to the text within Chapter 41 and the changes proposed to the Jacks Point Zone Structure Plan. This version of the CDP was different in layout from that tabled with the Environment Court at the hearing. The changes between the original court version CDP (September) and the November CDP can be summarised below.

The Draft Comprehensive Development Plan provided in November introduced Land use precincts and associated controls, replacing the land use blocks provided in the court version of the draft CDP tabled in September. These Land use Precincts were linked to site coverage controlled determined on per precinct. This plan did not extend the potential development footprint (site coverage) further than what was already approved within the District Plan.

The addition of Land use precincts VA-4 and VA-5 to the south (over golf hole 2) were created due to a new option for the routing of golf holes, location of the clubhouse and driving range that

no longer required that land. Therefore, to accommodate a portion of the Visitor Accommodation use from the approved Village area and allow for greater areas of open space this area was seen as appropriate to absorb landscape focused development. These areas were ideal also due to their proximity, connectivity and similarity of use to the Lodge Site Parking Activity Area and Lodge Site Activity Area. This allowed for greater connectivity across the wider CDP area, better linking areas of existing community open space and the existing trail network.

This wider CDP area was seen as a fully comprehensive option as it enabled appropriate land use management for areas that would otherwise be left unused.

A summary of the key parts of the consultation version is below.

- a) It is proposed to expand the Village Activity Area to incorporate the driving range, currently located with the Education Activity Area, part of the land currently used for golf holes 17 and 18 along the western shore of Lake Tewa within the current Open Space Golf Activity Area.
- b) Within this expanded Village it is proposed to establish a Comprehensive Development Plan (CDP) for inclusion into the District Plan. A CDP is a planning mechanism used to establish detail within the District Plan on key spatial planning outcomes. It establishes the high level but important elements to achieving good urban design and required to integrate future development that will occur within the Village and might not necessarily occur if managed individually. Such elements include pedestrian and cycle connections, the provision of open space, the road network and passenger transport routes. The CDP sits above the individual design of buildings and activities, that would still be required to be considered by the JPROA against design guidelines specific to the Village.
- c) The CDP is used to identify the location of activities through identified precincts and also establish outcomes for buildings, as illustrated through several diagrams. The four Precincts are residential, visitor accommodation, mixed use and open space.
- d) The Village CDP proposes no additional site coverage/development outside of what is currently proposed in the district plan. The broadening of the village activity area allows for integration of open space within and around precincts of less dense development.
- e) The CDP includes the addition of approximately 16ha of new dedicated community open space providing community frontage to Lake Tewa. This open space is complemented with an additional 5km of dedicated pedestrian and cycle trails to connect into the existing network of trails and community open space through Jacks Point. Wider connections for commuters are being explored to connect to Frankton.
- f) Pedestrian and cycle connections will link directly to key village spaces such as the village green, plaza, waterfront park and village common.
- g) As a part of this dedicated community open space, a beech forest is proposed to provide a visual backdrop to the village and additional amenity to residents.
- h) Approximately 4.00ha of blue space is proposed to be added to Lake Tewa, allowing for an increase in water based recreation and amenity.

2.4.2 Revised Timetable

The first presentation of the Consultation Draft of the CDP on 6 January 2021 raised a number of matters concerning the information required to support consultation.

Jacks Point met with the JPROA Residents Committee on 27 January 2021 to discuss the provision of further information in support of the Jacks Point Village CDP together with more substantive changes to the boundaries of the CDP and the court timetable (October 2020).³ At this meeting it was agreed that:

- a) Anderson Lloyd would seek approval from the Council and the Environment Court to extend the CDP timetables
- b) A draft letter from Darby Partners to residents was reviewed
- c) The boundaries of the CDP for consultation would be amended to align with the version originally tabled with the Environment Court
- d) Anderson Lloyd would facilitate a round table discussion within counsel for the Council and the residents committee to agree the revised CDP dates
- e) Darby Partners would provide a summary of events regarding the CDP process and the base plans and boundaries submitted to the Court, Council and Residents for review by the residents
- f) Darby Partners will compile an executive summary of the CDP document to enable easier consideration by residents with an overview of the planning process and high-level statistical information and status quo vs CDP land use plans for email and website distribution to residents. This will reflect the reverting of the CDP boundaries
- g) Darby Partners will update The CDP Document and Website to include the following:
 - i. Detailed forecast Populations
 - ii. Metrics regarding development use forecast GFA's and use (Commercial and residential floor areas etc)
 - iii. More illustrative examples of Village built form and open space out-comes
 - iv. Traffic and parking generation Numbers
 - v. Draft Design Guidelines
 - vi. Indicative land swaps plans
 - vii. Golf Routing Options
 - viii. Indicative costs for the maintenance of the additional open space to be provided within the CDP

At this meeting further matters were raised that Darby Partners would consider, including the use of the term 'precinct', inclusion of land for the provision of fire-fighting, and the provision of a transport hub A date was agreed for the first Q&A session on 20 January 2021.

Based on these agreements reached with the Committee, Counsel for Jacks Point lodged a Memorandum of Counsel with the Court on 5 March 2021. The Memorandum of counsel reported on progress with Issue 4 – in relation to consultation of the CDP recorded agreement

³ JPROA Committee / Jacks Point Village CDP Meeting Minutes, 27 January 2021

to provide additional information to residents and other participants and a series of workshops over March – April 2021, and seeking an amended timetable.

The Environment Court subsequently issued a minute on 11 March 2021 confirming amended timetable to enable workshops and consultation on revised CDP between 23 March 2021 and 30 April 2021.

*Jacks Point will confer on and reach agreement with the Council and the Committee on the content of the following, to be lodged by **Friday 28 May 2021**:*

- (i) a report summarising the consultation process and options addressed through that process;*
- (ii) an updated CDP and any necessary changes to the Proposed District Plan provisions;*
- (iii) Jack's Point will file and serve a formal request for the court to utilise the s293 procedure for the purpose of introducing into the Chapter 41 provisions a CDP for the Jacks Point Village, and seek directions as to the procedure to be followed.*

Details of the updated March 2021 CDP are outlined below.

2.5 March CDP

On 19 March 2021 all residents' and owners were emailed a link to an updated Jack's Point Village CDP. This included a website link to the CDP documents and again requested people to submit their responses in an online form. The submission questions did not change.

The Updated (March 2021) Version of the CDP is contained within **Appendix 2**.

This link and request for feedback was again sent to all residents at Hanley's Farm and put on the Jack's Point Residents' Facebook Group.

There were also two options to attend a dedicated CDP Village workshop on the 30th of March and 15th of April.

The key changes, from the initial 13 November 2020 version of the CDP, included:

- a) Redrafting the associated changes to Chapter 41 to provide "minimum changes" with most of the controls relating to the CDP incorporated into the CDP.
- b) The formulation of a document incorporated with the CDP Plans and diagrams, detailing the standards required for activity to be considered "in accordance with" the CDP
- c) The formulation of design objectives and guidelines for each precinct to assist with the Council's exercise of control over buildings and necessary to in part satisfy Rule 41.4.2.1 g. for "*the formulation of design controls in relation to buildings, open space, and streetscapes and an appropriate legal mechanism to ensure their implementation*", noting that in addition there would be separate and more detailed Design Guidelines that would sit outside the district plan, as is the arrangement throughout Jacks Point.

Associated with the CDP was additional material to assist consultation and understanding of the proposal, including:

- a) A Summary Document
- b) A Village Vision Information Document that includes more illustrative examples of building form within the Village

- c) Links to the current Outline Development Plan, formulated in accordance with the Operative District Plan provisions
- d) Detailed metrics regarding forecast floor areas and use, forecasted maintenance costs in relation to the additional open space

3.0 Consultation Process

Consultation commenced on 13 November 2020 in relation to the November 2020 CDP (summarised above). This version of the CDP was sent to the QLDC, all of the parties to the Chapter 41 appeals and the Chair of the Committee. A letter was sent from Counsel for Jacks Point to The QLDC and chair of the resident's committee the same day inviting discussion on the consultation process.

As detailed above, it was agreed through discussion with the Committee to a revised timetable of workshops and presentations together with an updated court timetable, which resulted in the March 2021 directions from the Environment Court.

The timeline below records the key dates in the consultation process

13 November 2020	Updated CDP provided to the QLDC, parties to the Chapter 41 appeals and the Chair of the Committee
23 December 2020	Initial and high level feedback on draft CDP (November 2020 version) received from QLDC
24 December 2020	Website live to access and download package of plans and supporting information for the Comprehensive Development Plan. Including methods and dates for provide feedback and questionnaire.
6 January 2021	First session on updated 13 November 2020 CDP held at Jacks Point Clubhouse
11 January	Darby Partners LP design staff were available on weekdays at the Jacks Point Clubhouse to present any information on the draft CDP, answer queries and record any feedback through to the end of the consultation period.
5 March 2021	Memorandum of counsel reporting on progress for Issue 4 – in relation to consultation of the CDP lodged with the Environment Court, agreeing to provide additional information to residents and other participants and a series of workshops over March – April 2021, and seeking an amended timetable.
11 March 2021	Minute issued by Environment Court confirming amended timetable to enable workshops and consultation on revised CDP between 23 March 2021 and 30 April 2021. Final report summarising consultation process and options, and an updated CDP with any necessary changes to PDP provisions with formal request for 293 to be lodged by 28 May 2021.
19 March 2021	All residents' and owners' were emailed a link to an updated Jack's Point website with the simpler CDP documents and again requested

people to submit their responses in an online form. The submission questions did not change.

This link and request for feedback was again sent to all residents at Hanley's Farm and put on the Jack's Point Residents' Facebook Group.

There were also two options to attend a dedicated CDP Village workshop on the 30th of March and 15th of April

30 March 2021	CDP Workshop session number 2, Jacks Point Clubhouse
20 April 2021	Written feedback on updated CDP (March 2021 version) from QLDC received
6 May 2021	Consultation Meeting with QLDC
12 May 2021	Residential Precinct Committee holds a 'Residents Workshop' to understand resident's opinions
26 May 2021	Written feedback received from RCL
28 May 2021	Written feedback received from Residents Committee
28 May 2021	Written feedback received from Remarkables Start Property Ltd

3.1 Individuals and Organisations that have been invited to provide feedback

The proposed CDP was provided to the following parties, together with an invitation to provide comment on the package.

Jacks Point and Henley's Farm Residents

The CDP was provided to the above parties via email attachment and links to the CDP website. Parties were also notified of the CDP information updates and the workshop and meeting program via email and the relevant community Facebook groups.

For the Jack's Point residents and owners, the JPROA distribution list includes 1022 unique email address for 530 Built residential units

Hanley Farm residents were contacted through the email list held by the developer's real estate agent (Bayley's). This included up to 410 individuals were emailed for 350 residential units.

Jacks Point Residents and Owners Association, Residential Precincts Committee

The Residential Areas Committee of the JPROA has been involved throughout the consultation process and has provided separate feedback on the draft CDP. This is addressed further below.

Distribution of CDP to Jack's Point Village and neighboring landowners

The CDP was provided to the following individuals and parties by email attachment and links to the CDP website. Face to face, telephone and video meeting to discuss the CDP were held when requested.

- a) **Remarkables Start Property** – as the owners/developers of Lots 12, within Jacks Point Village. Email and subsequent face to face meeting held. A feedback letter was received, as detailed below.
- b) **Classic Developments** - owners/developers of Lot 9 within Jacks Point Village. Email and subsequent face to face meeting held. The developer supported the content of the CDP.
- c) **Southern Accommodation** - owners/developers of Lot 10 within Jacks Point Village. Email and subsequent face to face meeting held. The developer supported the content of the CDP.
- d) **RCL** - owners/developers of Lot 3 and Lot 11 within Jacks Point Village and as the owners and developers of the adjoining Hanley Farm development. Email and subsequent face to face meeting held with the local representative. RCL provided detail feedback, which is addressed below, and is contained within **Appendix 6**.
- e) **Falconer Developments** - owners/developers of Lot 16 within Jacks Point Village. Email and face to face meeting held. The developer supported the content of the CDP.
- f) **CC Developments** - Developers of the Jack's Point Special Housing Area. located on State Highway 6 north of Woolshed Road. Email and face to face meeting held with the local representative. No queries or feedback received.
- g) **Viranda Partners Limited** – as the developers of Homestead Bay. Email and subsequent online meeting held. No queries or feedback received.
- h) **The Jardine Family** – as owners of neighboring Remarkables Station. Email. No response received.
- i) **Otago University** – as owners of the formal Remarkables Station homestead at Homestead Bay. Email and subsequent phone meeting with local representative. No queries or feedback received.

Other Parties and Organisations

- a) **Queenstown Lakes District Council** – Legal Counsel emailed the draft CDP and subsequent updates. Email feedback received and subsequent meeting held to discuss feedback. Council has provided two rounds of feedback on the initial Consultation (November 2020) version and the March 2021 version.
- b) **Ministry of Education** - multiple email contacts, with final feedback received and outlined in more detail below.

3.2 Website

All CDP related information was made available to parties via the website constructed for the Consolation Process <https://www.jackspoint.com/cdp>

Notification of the release of information and updates of the website to address the requests and inquiries was made via email.

Jacks Point Village CDP Website Statistics:

The number of visits to the various pages of the website along with the responses to the online feedback form.

CDP Home Page Views	6,177
Total CDP unique visitors since 24 December	4,258
Total CDP page views since 24 December	12,165
Completed electronic feedback forms and online queries	48

3.3 Resident Workshops

Parties were invited to attend a series of public meetings and workshops to discuss and provide input on the proposed CDP. Interested parties were also invited to meet with the Jacks Point team individually to review the CDP and raise queries.

Initially, the programme of presentations and workshops was agreed with the chair of the Committee to include dates for briefing of the committee, the date for posting the CDP onto the Jacks Point website, inclusion of a submission form, the dates for installation of a display in the clubhouse, and the dates for workshops.⁴

Following the issue of the 19 March CDP the dates for an adjusted programme and the content of the CDP communications to residents was discussed with the chair of the Committee.⁵

A summary of the dates of each of the meeting and workshop with residents together with an estimate of the number of attendees is provided below.

Workshop Meeting Program

Meetings Held	Date	Attendees
First presentation meeting	6/01/2021	70
JPORA Committee meeting	18/01/2021	6
Workshop 1	20/01/2021	14
Workshop 2	30/03/2021	17
Workshop 3	15/04/2021	30
JPROA Residents only Meeting	12/04/2021	90
Final Presentation Meeting	28/04/2021	27
Individual Meetings	Various Dates	27
Total Attendees		275

⁴ Email from Clive Geddes to Kent Potter "CDP consultation timetable" (8 December 2020)

⁵ Email from Kent Potter to Clive Geddes "CDP date extension and information update communication" (17 March 2021)

The feedback that was received during each of these meetings is summarised below.

3.3.1 Initial Presentation Meeting - 6 January 2020

The first meeting with residents on the draft Village CDP (November 2020 version), was held at the Jacks Point Clubhouse on 6 January 2021. Approximately 70 individuals attended this meeting.

A range of questions were raised, including requests for further information to aid consultation, as detailed below.

- A succinct summary of the proposed CDP was requested that could distil the overall CDP package and related changes
- An explanation of the potential need for a land swap between the JPROA and the developer to facilitate proposed changes to the golf course. What is the alternative plan if a land swap cannot occur?
- Maintenance of the open space proposed to be created
- Likely increase in numbers of visitors and people using roads and open space
- The ratio between residential and visitor accommodation activity
- Civil defence planning
- Duration of construction
- Concern at the extent of changes to Chapter 41 provisions – request for CDP to be withdrawn
- Request for greater information on metrics relating to the CDP - numbers of people, houses, commercial and mixed-use areas, traffic and infrastructure

3.3.2 Workshop 1 – 20 January 2021

The first workshop session was held at the Jacks Point Clubhouse on 20 January 2021. Approximately 14 individuals attended this workshop.

The matters raised at this workshop included:

- RCL owned land within the Village and design guidelines for those lots
- The ownership of the RCL land, how they are controlled lots and subsequently what could be done to address the concerns raised.
- Traffic generation through the residential areas of Jack's point, links with Hanley Farm and Homestead Bay and the connection to SH 6
- How would parking in the village be addressed and would what is being proposed within the CDP impact on this
- Golf – interest around the golf routings and land swaps
- What impact the proposed development would have on the Coneburn Water supply.
- Who would cover the cost associated with the infrastructure and public realm development proposed in the CDP.

- Interest around the proposed trail network and cycle connections extensions
- That the Village in general should not go ahead

3.3.3 Workshop 2 – 30 March 2021

The second workshop session was held at the Jacks Point Clubhouse on 30 March 2021. Approximately 17 individuals attended this workshop.

The matters raised at this work included:

- Car Parking and Traffic Generation – information provided
- RCL Owned land within the Village and design guidelines for those lots
- Community Facilities
- Dedicated Community Open Space
- Golf – interest around the golf routings and land swaps

3.3.4 Workshop 3 - 15 April 2021

The third workshop session was held at the Jacks Point Clubhouse on 15 April March 2021. Approximately 30 individuals attended this workshop.

The matters raised at this work included:

- It was alleged that it is illegal for a CDP to be created for the area outside of the current Village Activity Area, as it was beyond what “the rules” allow.
- It was requested that the development “must” also give a clear understanding of the alternative development of a CDP of the current Village
- It was alleged that rezoning of the golf course, currently zoned open space, requires a plan change and cannot occur through the current process
- The proposed CDP standards were alleged to change the zone provisions and were illegal. It was also alleged that any changes any of the Chapter 41 standards relating to building coverage and building height were also unlawful and illegal.
- Concerns were express with the CDP not providing for a local shopping centre, as this was not achieved through the “activated frontage” plan.
- It was alleged that the feedback form was manipulative, and it does not illicit fair or objective feedback.

3.3.5 Final Presentation

A final presentation meeting was held at the Jacks Point Clubhouse on 28 April 2021. Approximately 27 individuals attended this meeting

The developer summarised the key themes that have come through from consultation, the background to the development of the CDP, including the Outline Development Plan that would not have a role once the PDP became Operative, issues with the Education Activity Area in light

of the MOE decision to establish a school site at Hanley Farm, and the key design drivers for the proposed CDP.

Options for the relocation of current golf holes to accommodate proposed new areas within the CDP were discussed including the possibility of being able to move golf holes without the need for a land swap.

The key elements that have been considered and would be taken on board from feedback, by Jacks Point including:

- a) Transport Hub - EV and connection to Frankton
- b) More central provision for Community Building (JPROA Officers, Community Hall, Community PO boxes)
- c) Market
- d) The RCL owned Mixed Use Precincts better suited to low density residential
- e) Community Services Area (First responder's facility, Waste Management and Recycling, Large Vehicle Storage)
- f) Lakefront Community Open Space (Junior Sailing Club, small boat storage, Community Gardens, Events Space and Amphitheatre)

3.4 Individuals and organisations that provided feedback

3.4.1 Summary of Website Feedback

42 individuals submitted feedback through the Jacks Point website feedback form. The website questionnaire is contained within **Appendix 9**.

Of these respondents 38 identified as living at Jacks Point, 1 from Hanley Farm and 3 from elsewhere.

The majority of the respondents (31) live at the identified address with a further 10 individuals stating that they own their property but do not live at the location all of the time. 1 person who completed the feedback was a visitor.

Integration of buildings and open space

Respondents were asked "*do you support this approach to the integration of buildings and open space?*".

23 people agreed, with 15 disagreeing. 1 person agreed in principle but commented that the explanation is vague and generalised.

The individuals that disagreed were asked to comment on what they would do differently. The feedback received on this question included the following:

- Shock at the level of development proposed on the golf course and driving range
- Several comments expressed concern at the scale of the Village, including the density of buildings and seeking to keep it more open, limiting building and to emphasise the natural environment

- Too little provision for parking by village users and far too little provision for greatly increased traffic flows into and out of the village and Hanley Downs as well as the Homestead Bay development
- The addition open space is not ‘utilisable’ – by providing for parking, street furniture, EV charging stations, stormwater retention and underground services
- That the encroachment onto the golf course and the western side of Lake Tewa is reliant on a land swap to relocate the existing golf holes.
- Extension of visitor accommodation into the Open Space area is not acceptable
- The draft CDP has not been prepared as required by and to implement the relevant policies from the Jacks Point Zone, Chapter 41.
- The Village does not have a central focus point, like a Village Green as a hub of gathering space for the community to enjoy
- Seeking the original plans of Jacks Point remain – retain the *status quo*

Design elements

Respondents were asked *are there any further design elements you consider necessary to include with the CDP?*

The feedback received on this question included the following:

- Preservation of sight lines from residential areas – being able to see Lake Tewa
- That firm guidelines be established to reflect the vision of integrating with the feel of the current residential area. Several comments support the use of covenants as a means to support the design guidelines.
- Building height be limited
- Making sufficient provision for parking, including undercover parking for all accommodation. General concern at the visual impacts of parking
- Support for the restriction of vehicle access
- The CDP draft has wrongly adopted a precinct approach, when there is no provision for precincts in Chapter 41. The CDP is required to implement the relevant policies (referred to above), and the draft "standards" provisions are outside the scope of a draft CDP, which cannot alter the standards (development controls) and other rules in Chapter 41
- Support for the extension to Lake Tewa and addition visitor accommodation that will provide a unique opportunity for higher value, nature focused development.
- Concern at building on the golf course
- An urban design framework outlining the quality and style of street furniture considering maintenance requirements etc.
- Principles for sustainable design such as requiring use of solar and sustainable drainage

Transport Connections

Respondents were asked to consider *the transport types, their connections to and within the Village, and if there are any changes or additions they would make.*

The feedback received on this question included the following:

- Ensuring there is sufficient parking, including making provision for EV charging and the related visual impacts of parking
- Discouraging and not allowing vehicles within the Village
- Provision for tourist coaches, mini vans and delivery vehicles to allow walking access
- Concern at Jacks Point being a thoroughfare to Homestead Bay and Hanley Farm and lack of information on future traffic flows from these destinations. Maintenance of roads
- Improve cycle links and paths to and from upper Jacks Point rise
- Provision for bike racks
- Support for shorter walks, exclusive to walkers, and longer cycle trails
- Insufficient plans to show how residents and public get access to areas around the lake and to proposed buildings

Public and alternative forms of transport

Respondents were asked *has the plan made sufficient provision for public and/or alternative forms of transport?*

15 respondents said no, and 16 respondents said yes.

A further question asked *if not, what would you change?*

The feedback received on this question included the following:

- Little provision for tour buses, camper vans and car parking, which needs to be located outside of the Village.
- Visually obscuring transport infrastructure from residential areas and so as not to detract from the Village
- Implement as a priority the cycle track linking Jacks Point to Frankton
- Not allowing public transport into the Village
- Ensure there are links between Jacks Point Village and Homestead Bay to create the opportunity to have access to any future water taxi / ferry into downtown Queenstown.
- Develop a park and ride plan for visitors
- Where will public car parking be sited?
- Concern at the use of tourist buses using the Village
- Need to discourage visitors driving and encourage cycling (or walking) including the cycle connection to Frankton.
- The scale of the Village is such that cycling is not a priority – the priority is connectivity to cycling trails outside of the Village along with attractive facilities for cyclists in the Village.

Lake Tewa

The feedback form identified that a part of the proposal is to expand Lake Tewa, as part of the blue network to increase amenity and water-based recreation opportunities, and asked “*do you support the expansion of the lake and what would like to see it used for in future?*”

28 respondents said yes, and 11 respondents said no.

The feedback received on this question included the following:

- Interest in understanding how Lake Tewa will be protected from overuse, including birdlife and water quality
- Keep the lake as it is
- Create the ability to walk around the full waterfront
- Support the expansion of the Lake, including as a restoration site to promote a point of difference from other developments
- Opposed to expansion of the lake as a requirement for drainage and improved water quality / health
- The lake extension is shown alongside an expansion of the village into the golf course driving range presently zoned Education. The Village CDP cannot extend into an area which is not zoned Village. Nor can the draft CDP show an expansion of the village (in effect) onto land zoned OSG.
- Support for the potential of the lake for enhanced water based recreation opportunities
- The buildings within the Village will block views of the expanded lake
- Disappointment with expansion of the lake and the associated removal of golf holes 1 – 3 and 17 -18 – the current golf course is excellent and quite a unique layout. The quality of the golf course is being sacrificed for commercial interests.

Beech Forest

The feedback form identified the addition of a community owned native beech forest being proposed as a backdrop to the Village along its western edge, as well as providing additional recreational, ecological and amenity values. Respondents were asked if they supported this proposal.

31 respondents said yes, and 8 respondents said no.

A further question asked, *if not, what would you like to see occur within this area of protected open space?*

The feedback received on this question included the following:

- An issue with Jacks Point residents owning the proposed area for planting and swapping it for the golf course land immediately adjacent to Lake Tewa. Inappropriate and outside the scope of the CDP to show beech forest on land which is either developed for and in use as part of the Jacks Point golf course, or is land owned by the JPROA
- It has a major drawback in that it will, over time, materially impact on the viewing lines from the houses facing golf holes 17 & 18, particularly those at lower elevations
- The species of planting (other than Beech) – a mix of native planting

- Adopt an urban greening programme across the entire development – set a new standard for development in New Zealand Use green space management on regenerative principles. Encourage community participation in the green space.
- Financial burden of maintaining the proposed planting

Community Activities and Amenities

The questionnaire identified the proposed plans to create dedicated areas for a Village Square, a Lakeside Common, a waterfront park, beach park and Village green / harbour and asked respondents *how would you like to use these spaces? What would you change?*

The feedback received on this question included the following:

- Better children's playground
- More interest in open spaces and a natural environment rather than man-made structures
- Limit areas with vehicular access
- This question is not appropriate when the draft has not been completed as required by reference to these policies and proposes a CDP which extends beyond the area zoned Jack's Point Village promotion of people for the community gathering, Saturday farmers markets, children play area, plenty of seating
- Picnic tables, farmers markets, enabling hospitality businesses to allow outside dining around the green
- Storage of water based activity equipment

Respondents were asked *what type of community activities and services would you want to see made available within the Village?*

The feedback received on this question included the following:

- Farmers market
- Library
- JPROA Office
- Art exhibition space
- A small cinema
- A lawn bowls club
- Public toilets
- Police
- A community hub – for community groups and sports clubs
- Post office
- Doctor and dentist
- Fire brigade
- A co-working space
- A community meeting place

- Recreation facilities – pool, gym, a basketball / netball hoop, yoga studio

Commercial and Retail Activity

Respondents were asked what type of commercial and retail services would you want to see made available within the Village?

The feedback received on this question included the following:

- Food and Beverage – Café, restaurant, brewery, wine cellar, deli / providore, bakery, butcher
- Convenience grocery store, small supermarket and farmer's market
- Ski / Snowboard shop and workshop
- Pharmacy
- Nothing
- Retail shops – but not big chain stores
- Hair and beauty
- Professional services
- Live music venue

Respondents were asked *what activities do you not want to see established in the Village.*

The feedback received on this question included the following:

- High noise activities, night clubs
- Fast food chains
- Industrial or manufacturing activities
- Brothels, strip clubs, adult stores
- A supermarket
- University institutes
- E-scooters, skateboards or scooters
- Motor boats on Lake Tewa
- Large stores, trade suppliers
- Hotels, houses, apartments

Food and Beverage

Respondents were asked *do you support the inclusion of premises for the sale and consumption of food and beverages in the Village?*

38 respondents said yes, with 1 saying no

Location of activities

Respondents were asked *the CDP proposes precincts in order to best manage the location of activities within the Village?*

The feedback received on this question included the following:

- M-8 and M-9 are in a prime lake location – should retail be placed here rather than behind
- Commercial spaces at ground floor opening onto lake within the two VA areas located on the lake
- No visitor accommodation on west side of Lake Tewa
- Precincts are confusing – unclear about some areas adjacent to the Village
- Delete plans to encroach into the golf course
- The current plan is excellent
- There is no provision in Chapter 41 which enables the use of a "precinct approach" to managing the location of activities within the Village.

Provision for retailing

Respondents were asked *retailing is provided for at ground floor level within Precincts M-1 to M-7, and VA-9 – 10 in order to create the Village's main street. Mixed Use precinct M-9 has been chosen to locate a small general store / supermarket. Is that sufficient, too big, too small? What would you change?*

The feedback received on this question included the following:

- Seems about right
- Keep it small and top quality
- it is too big and the overall village development is too large and dense
- The more the better, I worry that it might not be enough
- Retail should be niche and limited to the immediate needs of the Jacks point residents
- The supermarket should be pushed deeper into the development unless its facade / visual aspect is strictly controlled given its prominence at the start of the development
- The ground floor retail frontage plan is misleading and need to be amended. M9 needs to be added & so does M11,12,13 as all have the potential for retail frontage
- Is there enough space to offer outside dining

Building Height

Respondents were asked *building height within the current Village rules is restricted to 12m. Heights will be encouraged to be varied and consider shade / privacy impacts on neighbouring areas through the Village Design Guidelines, managed by the DRB. Is that appropriate?*

The feedback received on this question included the following:

- 15m is too high
- Suggestions for height range from: 8m, 10m and retaining at 12m
- Low rise is essential to maintain the feel of Jacks Point and to not detract from the surrounding views
- The buildings are unnecessarily high, relating to the density of the proposed village

- Taller buildings will create more shade and wind channelling throughout the village streets
- Buildings if erected as proposed will dominate the village skyline and change very negatively the whole appearance of the Lake and be in sharp contrast to the nature and character of Jacks Point which is a brilliant and near unique development
- Impacts of 12m building height across the road from the original houses built on the flat

Administration of design guidelines

The questionnaire included a statement that the proposal is for the Council, through the District Plan, to administer the CDP and related rules when activities are proposed in Resource Consents, with the design guidelines for individual buildings and landscaping to be administered by the Village Design Review Board. Considering this statement, respondents were asked the question *is the balance of responsibilities between the District Plan and JPROA right?*

14 respondents said yes, and 6 respondents said no

A further question asked *if not, what would you change?*

The feedback received on this question included the following:

- Given the QLDC's historic planning and compliance record some people are cautious about further council responsibilities at Jacks Point
- Some put faith in the people/ experts who delivered the magnificent Jack's Point to do it again
- JPROA is a disconnected bunch of owners, many of whom do not live at Jacks Point. In this context it makes it difficult for JPROA to reach broad agreement.
- The CDP needs to be final with no further manipulation permitted by the council
- This process of preparation and incorporation into the district plan of a CDP does not enable property owners to change the control or administration of development within Jack's Point. The administration of Design Guidelines is a matter controlled by the JPROA Constitution
- Preference for covenants be put in place as far as possible to limit activities. The District Plan is far too easily changed

Other Comments

Respondents were asked *do you have any other comments or issues that you wish to raise?*

The feedback received on this question included the following:

- Adequate parking outside the village and away from residential areas is needed, availability of disabled parking
- Achieving carbon neutrality and measurement of environment impacts, such as water quality
- Ensure adequate security is included within the Village – concern with increase in crime
- Concern that plans for the Village will spoil the special and unique qualities of Jacks point
- The proposed village is not respecting the natural environment with its scale and density
- Insufficient informant for JPROA to properly consider what is proposed

- Concern about costs for Jacks Point residents; payment for CDP open space; maintenance of additional roads and infrastructure; forecast annual increase in JPROA levies.
- There is a significant gap in the assessment of the impact of climate change on business and new development
- The CDP process to date has been flawed. The required detail has not been provided to the residents. The visitor accommodation plans are too vague. The traffic and parking plans are not clear. No idea what the proposed changes to the golf course will mean
- This feedback document is skewed. Distrust and lack of faith in consultation process and related consultation documents
- Well balanced and thoughtful and as a resident I am excited to see this become a reality
- Totally opposition to the proposal; oppose zoning of the driving range to Village
- The postcode Jack's Point needs to be rezoned
- The landscape of Jack's Point means it is rather like a huge amphitheatre and sound easily travels up to the homes. Noise, especially at night, must be severely limited.

3.4.2 Jacks Point Residents Committee

The Residential Precinct has prepared a separate report on the Jacks Point Village CDP consultation (**Appendix 5**).

This report records the directions from the Court, the date of the notification of the first CDP (November 2020), the outcomes of the first consultation workshop held on 6 January 2021, the subsequent directions issued by the Environment Court to an amended timetable, the dates of the second draft CDP and the related workshops held at Jacks Point on 30 March, 15 April and 28 April.

The Committee's report provides some detail of a "Residents Workshop" held on 12 May 2021 by the Committee, for which Jacks Point was not invited. The report explains the purpose of this workshop being to enable the Committee to obtain responses from its members on the consultation programme and the consent of the draft CDP.

Section 8.0 of the Report provides feedback to Jacks Point from the resident's workshop as directed by residents to Committee members. The feedback to Jacks Point is reproduced below.

- That the consultation had been a series of presentations from JP with no CDP scope or form options presented which resulted in some residents thinking that the draft CDP as presented was a *fait accompli* and not open to change by their submissions.
- That there is a real concern as to the size of the village proposed in the draft CDP and in particular the extension of commercial land use to the western side of Lake Tewa.
- That the level of site by site detail provided in the draft CDP did not meet the requirements for a CDP as per the District Plan which meant that residents did not have any understanding, in the absence of design examples, as to what the extended village would look like. Nor was there a CDP for the existing Village Activity Area so residents had a baseline to compare the draft with.

- That the concern with traffic volumes and in village parking capacity had, following the concerns expressed, not been addressed by JP and therefore this remained a significant issue.
- That the site coverage and open space calculations provided in the draft CDP did not reconcile given a number of lots in the existing village have been sold and their development does not appear to be subject to the CDP.
- That the enforcement of design and site coverage rules on village land already sold and to be sold is not identified. The consenting of the Clubhouse Lane building, in part at 15m, and the design of the first residential precinct in the village being examples of inconsistency.
- That the Chapter 41 provisions of the DP in regards to the requirements of a CDP for the JPV have not been met and many residents are not therefore able to provide an informed view and provide meaningful feedback.
- That JPD had failed to provide, having agreed to do so, further information on a number of matters including parking, land use within precincts, building form and design, design control, open space maintenance costs, premise numbers and population numbers.
- That the participation of the parties, including QLDC, in the compilation of the draft CDP, the consultation programme and the workshops, as required by the joint memo endorsed by the EC, did not occur.
- The RPC advised JP that they were not in a position to sign off on the all parties report due in the EC May 28, 2021 until such time as the above matters have been addressed.

The report concludes by stating that JP advised the RPC that they had raised a number of important matters, including the size of the village proposed in the draft CDP, that the consultation had not clarified and there was therefore a case for seeking a further extension to the May 28 2021 report back to the EC so these omissions could be remedied by further consultation with the residents.

The RPC supported this position.

The RPC remain committed to completing the consultation on the CDP on the terms and conditions agreed in the memo endorsed by the EC with information for the CDP being supplied in accordance with the provisions of the DP.

Queenstown Lakes District Council

The QLDC provided detailed written feedback on Consultation version in December 2020 and again on 20 April 2021 in relation to the March 2021 version. The April 2021 feedback was followed up with a further meeting. The feedback detailed below represents the more recent feedback and has informed further investigations into potential landscape effects of the proposed CDP layout, the projected long-term population and demand for visitor accommodation. Below is a summary of the key matters raised by the Council and a record of the subsequent changes.

The Council raised concerns about the proposed expansion of the Village into the OSG area, and the lack of any supporting landscape analysis for that extension. Similarly, Council indicated that the reclassification of current open space to the V-OS precinct (part of the Village Activity Area) should be supported by landscape advice in relation to the provision of visitor accommodation as a controlled activity in that area. Jacks Point commissioned a landscape

assessment by Ms Yvonne Pfluger from Boffa Miskell for the purposes of informing parties about the potential landscape character and visual amenity effects of the proposed Village CDP and related changes to the Jacks Point village (**Appendix 10**). The key findings from this landscape assessment are summarised below.

The landscape report examines the proposed increase in size of the Village (V) Activity Area by reclassifying the Education (E) Activity Area and part of the Open Space Golf (OSG) Activity Areas in the Structure Plan into Village. It focuses on the differences in appearance of the proposed precinct in the CDP for the former E Activity Area and the location of the four VA precincts in the former OSG Activity Area on the western side of Lake Tewa.

This proposal has a limited visual catchment being largely contained by sloping landform confining the Jacks Point Village area to the east and west. The inward sloping basin is visually contained and views to the expanded Village from residences in the east would be gained in the context of the existing Village and Education Activity Area including numerous dwellings of a similar density/ site coverage as those proposed. In terms of visual effects from private viewpoints the various areas within the existing Jacks Point residential neighbourhoods will experience low to very low levels of visual effects arising from an expansion to the Village Activity Area compared to the development enabled under the current zoning. The effects of the proposed expansion to the Village Activity Area would to some extent depend on their elevation, orientation relative to the proposal and their setback from any terrain variation in the form of escarpments that define the development area

The visibility of the proposal will be confined to few residences along the west-facing edges of escarpments, where no adjacent buildings block the view out. In those selected views, generally existing buildings on lower terrain, including the V Activity Area, would form part of the foreground view and the change from E to V Activity Area on the golf practice range would be barely detectable and not perceived as an adverse effect. The VA pods will be partially obscured from these areas by the foreground village development and the rising landform of the *roche moutonee* would form a backdrop to the buildings and would remain the focal point of the outlook together with Bayonet/ Cecil Peak in the distance.

In addressing the landscape character effects, the report by Ms Pfluger finds that Jacks Point is an extensively modified environment with a residential development of high-quality design standards. The proposal to extend the village further out, while providing more open space between the village precincts has been designed to be enhance the amenity. As part of the assessment, it has to be taken into account that Jacks Point is undergoing a transformational change through the establishment of the village core, which this proposed extension relates to. In the context of the existing village and future construction of the mixed use/ visitor accommodation areas, the proposal would lead to very low effects in terms of landscape character and amenity and the nature of effect would, in my view, be neutral rather than adverse.

Following advice from Ms Pfluger Jacks Point are proposing that all building within the visitor accommodation precinct pods located on the western side of the expanded Lake Tewa be a restricted discretionary activity to ensure that any visual effects can be appropriately assessed and to ensure materials and colours are suitably recessive, that the bulk and location of building is broken up within the precinct to be responsive to the landform and continue to enable views to the open space activity area from residential activity areas to the east, and that building does not detract from the landscape character of the adjacent Tablelands Landscape Protection Area.

Council asked Jacks Point to consider and clarify the responsibilities for delivery of the various public amenities located within the open space precinct, including the village common, wetland

planting, boardwalks, parks, etc, the responsibility for maintenance of the open space land, and the outcome of discussion with the JPROA over the necessity for a land swap.

The necessity, or otherwise, for a land swap to affect changes to the layout of the Jacks Point golf course arising from the creation of the four accommodation pods is addressed in further detail as part of the consideration of options below. As a result, changes are proposed to the CDP standards to link the development of certain precincts with the delivery of public amenities within the open space precinct, such that a future residents' association would take on the responsibility for the maintenance of a completed area with the requisite amenities, facilities, tracks, planting etc established prior to handover, and as a prerequisite of the visitor accommodation.

Council provided feedback about the location of community activity within the community precinct, specifically that it needed to be more centrally located in a manner that is more 'community-oriented'. Jacks Point agree and has modified the CDP accordingly. An associated concern was raised with the provision of sufficient land (GFA) for community activities. Jacks Point considers that certain community activities will need to be secured through identification within the CDP, so as to protect against displacement from higher value uses over time, with other community activities being able to occur through the anticipated activities within the mixed use precinct. Together Jacks Point considers sufficient land area will be available.

The Council supports the identification of 30ha of land as Village Open Space (**V-OS**), the identified linkages between V-OS areas and the public realm more generally and considers this an area of improvement from the initial CDP.

Relative to site coverage, the Council identifies the relevant policy outcome as referring to "*high and medium density residential housing*", and questions whether there is a place for a varying approach to residential density in the context of the Village. Council asked whether within certain Residential Precincts there could be a higher average density, or minimum density standard (i.e. the existing JP Residential areas are a model for varying approaches to density). This feedback contrasts with feedback from residents that is not as supportive of medium to high density housing.

Council considers that the classification of the RCL land east of Homestead Bay Road as Mixed Use could create issues with the potential for an unusual mix and graduation of activities. In effect the layout would result in a strip of mixed use development separating two residential areas (separated by road and open space). Further input on the appropriateness of future activities for this area has been sought from RCL, as noted below. In addition to this matter the Council sought to better understand whether Jacks Point has considered extending the retail frontage areas to all important pedestrian streets and lanes, as well as restricting residential activities at ground level through non-complying activity status rather than discretionary. Jacks Point considers that discretionary activity status is appropriate to manage the effect of non-retail activities preventing street activation, noting also that retailing is permissible throughout the mixed use precinct.

In terms of the proposal for a supermarket within MU-9, Council requested Jacks Point to consider adopting a requirement to sleeve this activity by small buildings, which could be a mix of commercial and residential. The broader concern being a large format building fronting Homestead Bay Road.

In relation to the Visitor Accommodation precinct the Council identify a misalignment within the provision of residential visitor accommodation and homestays without also providing for residential activity, from which these activities are based. Jacks Point agree and propose to provide for residential activity within the Visitor Accommodation precinct.

From an interface perspective, Council sought to understand whether it would be more appropriate to wrap the Mixed-Use Precincts with Visitor Accommodation, rather than having Mixed Use land uses directly adjacent to Residential Precincts. Jacks Point disagrees with the Council on this point and considers that potential incompatibilities are addressed through limitations on the scale of commercial activity (200m²) and through the nature of the CDP layout itself that seeks to distinguish precincts by street block design, the provision of laneways, the placement of community open space and the proposed blue network.

Council also do not support the scale of food and beverage within the visitor accommodation precinct. Jacks Point has removed the changes to the Chapter 41 rules that provide for this larger scale of premises, noting that the definition of visitor accommodation includes “services or facilities that are directly associated with, and ancillary to, the visitor accommodation, such as food preparation, dining and sanitary facilities, conference, bar, recreational facilities and others of a similar nature”. Jacks Point considers it appropriate to limit any further food and beverage premises, not part of a visitor accommodation activity, to 200m².

The Council asked a number of questions relating to the operation of the CDP Standards, including how they are intended to engage with the Chapter 41 rules. Council’s initial view is that the CDP standards will require more detailed design standards and controls. On a related point, the Council consider that the total GFA of various land uses within the precincts should be prescribed in a regulatory sense to deliver a true mixed-use village. Jacks Point has received feedback from the Jacks Point Residents Committee opposing changes to the Chapter 41 provisions, seeking that the CDP provide such guidance. To a degree both options are necessary, and the revised CDP proposes refinements to both the CDP standards and Chapter 41 rules and standards to address particular issues and eliminate inconsistency, including:

- a) To identify building within the four visitor accommodation pods located on the western side of the expanded Lake Tewa as a restricted discretionary activity.
- b) Amending the scale of commercial activity standard to enable a supermarket to be developed within Mixed-Use Precinct MU-9, greater than 200m² in area.
- c) Creating an additional CDP standard to ensure delivery of public amenities within the V-OS Precinct

Relevant to coverage and GFA, the Council requested Jacks Point to consider how much, if any, land is to be allocated to carparking within the CDP area, the effects of this, and mitigation of any effects. Adequate provision of car parking is an issue also with residents. Relevant to the provision of car parking is the National Policy Statement of Urban Development (2020) that mandates the removal of provisions within District Plan requiring minimum car parking spaces. The CDP does however provide an opportunity to provide a coordinated approach to the provision of car parking on an area-wide basis, noting that car parking is a relevant matter to address through the main CDP policy, as well as a matter of control under the relevant rule 41.4.2.1. In addition, the proposed response from Jacks Point to this issue is to also identify areas dedicated to communal parking as a part of the CDP. Further discussion on this is provided within the consideration of options below.

3.4.3 Other landowners and parties

RCL

Detailed written feedback was received from RCL (**Appendix 6**) and this was followed up with a further meeting in June 2021, from which the main areas of concern are recorded below.

In general terms, the feedback from RCL is that the focus of any changes should be confined to the proposed CDP, rather than the Chapter 41 rules. RCL considers that the provisions should be unambiguous as to whether an activity is in accordance with the CDP, or not, and support the adoption of CDP standards as the means of doing this. They suggest that the CDP should be reduced to a more succinct document showing plans and standards.

RCL wishes to retain as much flexibility to undertake activities on their land and therefore support the identification of its land within the Mixed-Use Precinct.

RCL understand the rationale for the design objectives being included within the CDP as a means of ensuring a consistent approach to the design and external appearance of building. However, RCL request that any further detailed guidelines formulated for the Jacks Point land not be imposed on the southern precinct as the Southern Precinct Design Review process is separately administered from the northern precinct through its own privately administered design review board.

A range of changes to the rules within Chapter 41 are requested, including:

- a) Amending Rule 41.4.2.1 to allow recreation activities and retirement villages
- b) Amendments to the scale of commercial activity standards 41.5.2.1 to introduce greater flexibility in commercial activity.
- c) The general feedback on the current 60% zone-wide building coverage standard is that it is very difficult to administer, because it requires a running tally of building and thereby resulting inequities could develop. RCL are generally happy to adopt a precinct approach to building coverage through the CDP, so long as that is certain and does not diminish development yield. At the precinct level, RCL would prefer to have no building coverage limitation, or if it was necessary, for a generous allowance of no less than 80% was suggested.

The feedback from RCL requests changes to the draft CDP standards and plans, as follows:

CDP Plans

- d) Combine the pedestrian network, cycle network and open space network plans into one
- e) Identify only one pedestrian / cycle link through Lot 11

CDP Standards

- f) Amend the mixed use precinct activity list to include residential activities, and remove provision for a supermarket within mixed -use precinct 9. RCL consider the allowance for a supermarket within one lot anti-competitive.
- g) Delete the mixed use precinct building coverage standard

CDP Design Guidelines

RCL further request a range of changes to the design guidelines, mostly seeking deletions but also seeking clarification.

Ministry of Education

The feedback provided by the MOE (27 May 2021) is contained within **Appendix 7**. Their feedback is:

“The Ministry has no particular comments or position on the CDP proposal by Jacks Point. It has no plans for using the land that had been set aside for education facilities

following the establishment of Te Kura Whakatipu o Kawarau which is due to open in 2022”.

Remarkables Start Property Limited and Maori Jack Limited

Remarkable Start Property Limited and Maori Jack Limited each own a half share in the land at Lot 12 DP 498079. The feedback from these organisations included background to a resource consent they have been granted to establish and operate a day-care facility and medical centre on this site. They are interested in the proposed restrictions created by the Ground Floor Retail Frontage Plan and the potential to provide for ground floor retail on their site.

The detailed written feedback (**Appendix 8**), followed by a further meeting on the CDP Standards and guidelines is summarised as follows:

- Provision for retail activities within the MU Precinct – discussions clarified the ability to undertake retail activity within the MU Precinct and the nature of the restrictions that existing within the Chapter 41 standards on the scale of commercial activity i.e. 200m². The feedback expressed a desire to undertake a larger scale of commercial activity, larger than 200m² but within the bounds of the policies for the Village seeking to limit commercial activity to small scale destination shopping servicing the needs of Jacks Point residents. The Council's decision on Chapter 41 identified difficulties with scope to change the scale of commercial activity standard and it was considered that such a limitation on scope could be resolved through a s293 process. Potential options that were explored included an increase to the 200 m² limitation within Standard 41.5.2.1 and a lowering of the status of activities that breach Standard 41.5.2.1 to restricted discretionary.
- Design Guidelines – the Remarkables Start Property Ltd land is the subject to a design review process that is different from the rest of the Jacks Point Village. MU Precincts 11, 12 and 13 are owned by RCL who have established through covenants registered on the underlying titles the Southern Precinct Design Review Board. There is therefore some uncertainty as to how a single set of design guidelines could be created and then administered across the whole of the Village Activity Area. One option discussed to resolve this issue was creating greater certainty of the design guidelines incorporated within the CDP, rather than relying on the more detailed design guidelines adopted by the Design Review Board, as required by the covenants.
- Building coverage – The intended approach to the zone-wide and precinct level coverage controls were discussed. Concerns were raised with the operation of the zone-wide control that lacked any real certainty for individual lot owners.

4.0 Consideration of Options

Issue 1: Location of development within the Open Space Golf Activity Area and related effects on landscape character and amenity values

The Council and residents have raised concern about the impacts of development within the current open space activity area, including to better understand the nature of potential effects on landscape character and visual amenity values. Jacks Point have commissioned Boffa Miskell

to undertake a landscape assessment for the purposes of providing high level advice on the suitability of expanding the Village Activity Area to incorporate the Education and part of the OSG Activity Area. Based on that advice Jacks Point are proposing the following:

- a) To establish a new rule within Chapter 41 that would require all building within precincts VA-4, VA-5, VA-6 and VA-7 to trigger resource consent as a restricted discretionary activity. The matters of discretion that are proposed include:
 - i. the external appearance of buildings with respect to the effect on landscape character and to ensure that materials and colours are suitably recessive
 - ii. the recreation and amenity values created by the expansion of Lake Tewa
 - iii. associated earthworks and landscaping
 - iv. Ensuring that the bulk and location of building is broken up within the Precinct to be responsive to the landform and will continue to enable views to the open space activity area including the escarpment to the immediate west from the residential activity areas to the east.
 - v. Ensuring building does not detract from the landscape character of the adjacent tablelands landscape protection area.
- b) To establish further design guidance seeking to better articulate the outcomes for these precincts, including to:
 - i. Restrict vehicle access and establishing these areas as visitor destinations with pedestrian and golf cart access only
 - ii. Break up the scale and mass of buildings

Issue 2: Impacts of development on current golf course and uncertainty of any potential changes of land ownership necessary to facilitate this, including the delivery of any public or community amenities

Concerns have been raised during consultation with Jacks Point residents over the potential impacts of the golf course arising from the establishment of new areas of development within the visitor accommodation precincts VA-4, VA-5, VA-6 and VA-7. The Jacks Point golf course is located on privately owned land and a commercial entity controlled by the developer. Changes to the golf course occurring on the developers' land are thus within its control. However, several options have been explored to re-route the golf course to accommodate the additional development, including course options that would be located on community owned land administered by the JPROA.

Subject to controls over building and earthworks, the development and operation of golf courses is a permitted activity within the Open Space Golf Activity Area⁶.

The potential concern arises from any option to re-route the golf course that relies on community / JPROA owned land in the event agreement cannot be made to purchase (or swap) that land. There are two facets to this concern, being the potential inability to deliver any community or public amenities; and the inability to re-route the golf course and thereby compromising the quality of the recreation experience for the golf users.

The response to the first issue has been to link delivery of public amenities to development within identified precincts. There have been broader concerns raised, particularly by the Council over who will ultimately be responsible for the delivery of public amenities. It is proposed to

⁶ Rule 41.4.4.1, Chapter 41 Jacks Point Zone (May 2021)

establish a new CDP Standard that there shall be no occupation of building within the following precincts until the relevant amenities have been established and any related land transferred into community ownership:

- a. Village Plaza / Square
Precincts M-6A, M-6B, C
Amenities to be established: Village Square
- b. Village Wetland
Precincts: VA-1, VA-2
Amenities to be established: Wetland Planting and community park
- c. Village Waterfront Park
Precincts: VA-3, VA-4
Amenities to be established: Village Waterfront Park
- d. Village Lakeside Common
Precincts: VA-5, VA-6
Amenities to be established: Village Lakeside, Beech Planting
- e. Village Green
Precincts: M-14, M-15
Amenities to be established: Village Green

It is intended that landscape plan/s accompany any resource consents lodged in respect to activities undertaken within these areas to integrate planning, design and delivery of public amenities.

In the case of the Village Waterfront Park and Village Lakeside Common these would be related to the visitor accommodation precincts located on the western side of Lake Tewa (VA-3, VA-4, VA-5, and VA-6). If it was not possible to deliver either of these public amenities, because of complications associated with land ownership the occupation of building development within the identified precincts would become a discretionary activity as it would not be in accordance with the CDP.

The second concern relates to design and the potential to re-route the golf holes without the need for community owned land. The developer considers this a feasible option that does not diminish the number of holes at Jacks Point and can maintain the quality of the recreation experience. As noted above, development and operation of golf course within the Open Space Golf Activity Area is a permitted activity.

Issue 3: Geographic scale of the proposed CDP and related changes to Structure Plan

Feedback received from some residents has raised concerns with the scale of the proposed CDP and associated changes to the structure plan. Most of the focus of this concern has related to the addition of the four VA pods located on the western side of the expanded Lake Tewa but have included further suggestions that the CDP be confined to either the current Village Activity Area or, alternatively, the Village plus Education Activity Area. The Committee in particular raise concern about commercial development located on the western side of Lake Tewa and the lack of supporting information that was available to residents to understand the baseline effects of development within the existing Village Activity Area.

A key part of the design vision for Jacks Point has been the introduction of a greater proportion of publicly accessible open space into the urban environments of the Village, which includes the creation of waterfront visitor accommodation. The proposed blue network is a significant part of the overall open space network and this has been designed to complement additional areas of visitor accommodation development located within the four VA precincts together with a backdrop of new Beech Forest and two areas of community open space (Village Waterfront Park and Village Lakeside Common) on the western side of Lake Tewa.

The graphic illustrations that have been created to inform residents of the potential baseline effects of the current Village and Education Activity Areas is contained within the Vision Document (**Appendix 3**) and shown in **Figure 1** below. The block form building envelopes indicate the possible outcome of building mass and site coverage permissible within the parameters provided for within the current Village and Education Activity Areas, and are based on the Key Metrics and Statistics comparison provided within the Vision Document (**Appendix 3**).

2.8 / Existing Village and Education Zone

Indicative Site Coverage Illustration



Figure 1: Indicative building form within current Village and Education Activity Areas, from CDP Vision Document (Appendix 3)

An illustration of building form under the proposed CDP is shown in **Figure 2**, below. The block form building envelopes indicate potential built form outcome associated with the dispersal of the proposed total maximum site cover of 12ha within the expanded Village Activity Area and associated CDP. They are reflective of the Key Metrics and Statistics comparison provided within the Vision Document (**Appendix 3**).

2.9 / Proposed Comprehensive Development Plan

Indicative Site Coverage Illustration



Figure 2: Indicative building form within proposed Village Activity Area, from CDP Vision Document (Appendix 3)

The CDP Vision Document records the developer's objectives for the areas of visitor accommodation located west of Lake Tewa as being to create less dense forms of accommodation, dispersed along the southwest arm of the Village, integrated with nature. The location of accommodation in these areas apart from the core of the Village allows for privacy, seclusion and a more nature focussed stay. This objective works in tandem with the removal of cars from this area (refer to Parking and Traffic discussion below).

From a process perspective, the options available for the developer to progress development located on the western side of Lake Tewa are to retain this area as part of the Open Space Golf Activity Area and apply for development through resource consents; to resolve the current CDP process by confining the CDP (and related changes to the Structure Plan) to the current Village and Education Activity Areas and process development of the OSG through separate plan change; or to incorporate the Open Space land into the expanded Village Activity Area and CDP.

The key policy for the open Space Golf Activity Area 41.2.1.22 is to avoid all buildings in the Open Space Golf (OSG) Activity Area, other than ancillary small scale recreational buildings that are of a design that is sympathetic to the landscape. The "small scale" restriction does not apply to a single clubhouse or golf cart storage facility associated with the existing 18 hole Jacks Point golf course, that are located within the OSG Activity Area where it is not overlaid by the Tablelands Landscape Protection Area. Advancing visitor accommodation development within OSG through a resource consent is considered problematic within such as policy directive.

The option of a plan change would help to resolve the policy hurdles for a resource consent and has the advantage of address the concerns expressed with the scale of commercial development west of Lake Tewa and to a lesser degree also addressing the potential landscape concerns raised by the Council. A plan change is considered feasible given that the ability of the developer to undertake changes to the golf course under the current rules (as permitted) without necessarily needing to undertake a land swap, and with the benefit of the supporting landscape

assessment. Whilst it is more attractive for resolution of the immediate appeals relating to the CDP it would defer consideration of issues the developer wants to pursue.

The preferred option for progressing an expansion to the Village Activity Area, into the current Open Space Golf is through the proposed approach to expand the Village Activity Area and complete a CDP over that expanded area. This will result in a holistic design outcome, supplemented by an appropriate level of landscape assessment at the time of building development, and that is integrated with the design of the proposed blue spaces and additional planting and open space proposed for the western side of Lake Tewa. Inclusion of this land will realise wider benefits for the Jacks Point community because of the more inclusive nature of the proposed new areas of community open space, expanded lake and public access. The current golf course land is held on private ownership, limiting access to paying members. Through the addition of the proposed community parks and access tracks the public would gain access to a much larger area, west of Lake Tewa than presently available.

Issue 4: Parking and Traffic

Concerns have been raised by residents and the Council in relation to the management of traffic and car parking. These concerns had several interrelated themes, including the perception of additional traffic being created by the new CDP, pushing parking out into the surrounding residential areas, and safely related concerns with potential conflicts between buses and pedestrians.

In terms of traffic generation, Jacks Point have commissioned Stantec to advise on the differences between the potential traffic generation under the existing Village and Education Activity Areas (decisions version) against the proposed CDP for an expanded Village Activity Area. Predicted traffic generation was modelled by Stantec for the existing Village and Education Activity Areas, and the proposed expanded Village Activity Area. A summary of the predicted external trip generation under each scenario is shown within **Figures 1 and 2** below.

Figure 1: External Trip Generation Current Village and Education Activity Areas

	Size	External Trip Generation (vpd)
VILLAGE ACTIVITY AREA		
Visitor Accommodation	42,777 m ²	2516
Residential	27,171 m ²	898
Residential	20,236 m ²	666
Retail	13,689 m ²	2300
Commercial	14,159 m ²	1109
RCL (Residential Mixed Use)	21,623 m ²	1076
EDUCATION ACTIVITY AREA		
Tertiary Education University satellite campus /Hospitality school etc	26400 m ²	1650
Private Academy (with community facilities)	7800 m ²	113

	Total GFA	173,855	m²	10,327
Figure 2: External Trip Generation Proposed (Expanded) Village Activity Areas				
	Size			External Trip Generation (vpd)
Visitor Accommodation	56,771	m ²		2858
Residential	25,985	m ²		1291
Residential (Mixed Use)	18,818	m ²		934
Retail	12,174	m ²		2045
Commercial	12,174	m ²		953
Com/ED	5,755	m ²		113
RCL (Residential Mixed Use)	21,623	m ²		1076
	Total GFA	153,300	m²	9269

This analysis determined that for the combined area of the Village and Education Activity Areas, daily external trip generation would equate to 10,327 vehicles, together with an estimated parking demand of 6.4 ha. A factor in this estimated figure is the scale and nature of education activity enabled within the Education Activity Area. Under the alternative option of having an expanded Village Activity Area, the layout of proposed land use precincts and the overall limitation of building coverage at 12 ha, Stantec estimate the CDP would result in 9,269 daily external trips and a parking demand of 3.2 ha.

A live concern has been how the Council intends to respond to the requirements of the NPSUD requiring the Council to remove provisions within the District Plan requiring minimum car parking spaces, with the exception of spaces for mobility purposes.

According to advice from MfE on the NPSUD, the removal of the minimum standards for car parking spaces by the NPSUD does not remove the obligation on District Plans to manage the effects of parking. The general purpose for removing the requirements for minimum car parking rates from district plans is to enable more housing and commercial developments, particularly in higher density areas where people do not necessarily need to own or use a car to access jobs, services, or amenities. It will enable urban space to be used for higher value purposes other than car parking, and remove a significant cost for higher density developments. Developers may still choose to provide car parking in many areas, but the number of car parks will be driven by market demand.

The Council has not indicated how it intends to address this on a district wide basis. Irrespective of the wider approach Rule 41.4.2.1 includes traffic effects as a matter of control and thereby providing a basis for managing the effects of car parking independent to the soon to be removed minimum parking standards, as well other transport matters.

The guidance given from MfE on the car parking policies from the NPSUD is that District plans may contain a policy stating that comprehensive parking management plans, travel demand management and other methods are the appropriate means of managing the demand and supply effects of car parking. Policy 11(b) of the NPSUD encourages the use of comprehensive

parking management plans. Maximum parking rates can be used and are a legitimate tool for demand management and can support high density and public transport use objectives.

The main policy in support of the CDP (41.2.1.19) requires that development be “*in accordance with a CDP incorporated into the District Plan, which shall establish an integrated and coordinated layout of open space; built form; roading patterns; pedestrian, cycle access, and **car parking**; the land uses within buildings ...*”. Based on the MfE guidance this type of policy seeking to take an integrated approach to land use and parking could be considered a legitimate means of managing the demand and supply effects of car parking.

The developer's design vision for the Village is to create a car-free environment for the visitor destinations within the four pods located on the western side of the expanded Lake Tewa and such an outcome would need to be incorporated into the CDP design guidelines. Some of the roads identified on the road hierarchy plan also indicate shared use. In terms of these design outcomes from the above there are areas of the Village where the provision of car parking is not anticipated or desirable to achieve the design objectives. That's entirely appropriate and supported in terms of the national direction from the NPSUD.

For those parts of the Village where car parking is considered an appropriate design outcome, design guidance should be provided to ensure proper integration with the transport network and to achieve a high-quality built outcome. That guidance should not however, be expressed in such a way so as to require a minimum amount of parking and thereby contravene policy 11(b) of the NPSUD.

The provision of further communal (non-accessory) parking areas would be one method that could support the design objectives for removal of parking within identified precincts. This would positively respond to the main policy for the CDP to address car parking on an integrated and coordinated basis. However, given the clear direction from the NPS care would need to be taken to ensure any communal parking areas incorporated into the CDP avoid specifying a minimum rate for parking. Acknowledging the separate definition⁷ and rules within Chapter 29 Transport relating to non-accessory parking, changes to the CDP standards and Rule 41.2.1.4 to provide for non-accessory parking would assist in providing specific recognition for such activities and to avoid them becoming discretionary activities where they are not provided for within the CDP Standards or Village AA rules. It is noted that non-accessory parking will still trigger resource consent as a restricted discretionary activity by the rules within Chapter 29.

Based on the developer's design objectives, the requirements of the NPSUD, and the Chapter 41 policies, the following amendments are proposed to Chapter 41 and the CDP to address the effects of transport and parking:

- a) Modifications to the CDP transportation plan to identify the location of communal (non-accessory) parking areas within the Village and removal of the indicative road access extending to visitor accommodation precincts VA-3, VA-4, VA-4 and VA-6 from the road network and hierarchy plan
- b) To amend Rule 41.4.2.1 and the CDP Standards to provide for non-accessory parking

⁷ Parking that is provided as a principal activity on the site and is not accessory to any of the approved activities on the site. The parking may be:

- available to members of the public for a charge or fee
- reserved or leased.

- c) Formulation of design guidance (as part of the CDP Standards) requiring on-site parking to be incorporated into all building design, except in relation to visitor accommodation precincts VA-3, VA-4, VA-4 and VA-6
- d) Formulation of guidance for visitor accommodation precincts VA-3, VA-4, VA-4 and VA-6 to articulate the vision for these areas to become car free, buildings designs are specifically to exclude visitor parking and focus on pedestrian and electric vehicle access into the Village

Issue 5: Inclusion of RCL Owned land

Residents raised concerns that the initial version of the CDP didn't include the RCL owned land within the Village, located east of Homestead Bay Road. The updated (March 2021) incorporated this land as part of the Mixed-Use Precinct, which has, in turn generated concerns from the Council with respect to the wider mixed of activities that result in mixed use activities. Council and some residents have expressed a preference for the RCL land to be identified within a residential precinct. From a planning perspective Rule 41.4.2.1 is clear that the CDP needs to be incorporated into the District Plan for the whole of the relevant Village Activity Area. This logically follows from the policy direction within 41.2.1.19 to adopt a CDP to establish an integrated and coordinated approach to urban design matters. Exclusion of the RCL land would therefore fail to implement the key policy direction relating to the Village Activity Area.

Specific feedback from RCL has been received and addressed in further detail above.

Issue 6: Public access to Lake Tewa

The Council has raised this as a particular concern with the design of the proposed CDP, relating both to the proposed trail network and the placement of precincts along the edge of the expanded Lake Tewa. The Council are particularly concerned to ensure that for the Village to become a lake-oriented development, access to the water edge is a necessary design element.

Jacks Point has considered this feedback and formulated several changes to the proposed CDP that are designed to provide greater activation of the water's edge, whilst retaining some elements of high quality and unique visitor experience created by having some areas of visitor accommodation along the water interface, as follows:

- a) The pedestrian network plan has been modified to provide for access routes that are either directly along the lake or in closer proximity
- b) The land use precincts have been modified so that for Visitor Accommodation precincts VA-8, VA-9, VA-10, and VA-11 become Mixed Use precincts MU-4, MU-6A/B, MU-14, MU-15, and MU-16. These changes are designed to ensure a more active public waterfront on Lake Tewa. Technically, these precincts also provide for visitor accommodation, but they are considered as having a better anticipated ground floor use on the waterfront.

Issue 7: Provision and location of community facilities

Feedback from residents has included concern at the provision of community activity within the village as a means to accommodate the demands of a growing community and to reinforce the role of the Village as a vibrant mixed-use hub. This is related also to the theme of how the CDP provides for the certainty of outcome, a point addressed further below. The Council in commenting on the draft CDP considers that community activity needs to also be more centrally located.

In response to these concerns Jacks Point proposes to move the Community Precinct into a location immediately adjacent to the Village Square and changing the former Community Precinct into a Residential Precinct.

It is also noted that community activities are provided for in the Mixed Use Precincts, with the intention that not only is there a central community area, but that community activities as defined in the PDP can also be integrated throughout the mixed use areas.

Issue 8: Scale of commercial activity and density of residential development

Several residents raised concern about the potential scale of commercial activity within the village together with the density of residential development.

Feedback from the QLDC is that the provisions could potentially enable too larger scale of food and beverage premises. As discussed above, Jacks Point considers it appropriate to limit any further food and beverage premises, not part of a visitor accommodation activity, to 200m².

Some residents have raised concerns that the ground floor retail frontage plan will not make provision of a small local shopping centre to serve the needs of Jacks Point residents (Policy 41.2.1.17). CDP Standards 1.4.2.1 and 1.4.2.2 a) make provision for a Supermarket with mixed use precinct M-9. In addition, the mixed use precinct itself also enables retail and certain types of commercial activity, limited in scale to 200m². Together this precinct and the related standards are considered an appropriate basis to fulfilling the policy direction for a small local shopping centre.

Several comments expressed concern at the scale of the Village, including the density of buildings and seeking to keep it more open, limiting building and to emphasise the natural environment. The perception is that the density of development does not integrate well with the natural environment. By contrast the feedback from the Council points out that the policy direction for the Village is to comprise “high and medium density residential housing”, and queries whether the proposed building coverage is sufficient to allow for this to occur.

In terms of the broader PDP policy direction, the Strategic Objectives are to promote compact, well designed and integrated urban form, a mix of housing opportunities, including access to housing that is more affordable for residents. These are supported by policies within the Urban Development chapter to enable increased density of well-design residential development in close proximity to town centres, public transport routes, community and education facilities, while ensure development is consistent with any structure plan for the area and responds to the character of the site and surrounding area.

The PDP policies are underpinned by the national direction provided by the National Policy Statement on Urban Development 2020. The key objectives from the NPSUD include to enable more people to live in and more businesses and community services to be located in, areas of an urban environment in which an area is in or near a centre zone or other area with many employment opportunities, is well serviced by existing or planned public transport, and where there is high demand for housing or business land.

There is therefore strong policy and national direction for the provision of higher density housing within the Village, where it can be well integrated into the urban form with access to public transport and opportunities for employment. Jacks Point will continue to promote the Village CDP as a means of providing medium to high density housing, which will be both different in appearance to the existing residential areas within Jacks Point but integrated to a much greater degree with a mixture of activities. The importance of maintaining control over the quality of the urban environment is explicitly acknowledged through the elements of the CDP, including the provision of cycle and pedestrian access, identification of public amenities, provision for dedicated areas of open space, and the integrated planning of parking and public transport. The

formulation of design guidelines are intended to provide direction within the District Plan over the nature of the built form outcomes and guiding future administration of the District Plan.

These regulatory controls to be established within the District Plan will be supplemented by the use of private covenants to create an additional layer of design control, similar to the successful process adopted within the residential areas, and in accordance with the matter of control in rule 41.4.2.1.g that provides for *the formulation of design controls in relation to buildings, open space, and streetscapes and an appropriate legal mechanism to ensure their implementation.*

Issue 9: *The detailed provision of information that would help to visualise the built outcomes*

Throughout the consultation process Jacks Point has been requested to provide detailed information to help visualise the built outcomes within the Village, including at differing scales based on zoning outcomes.

The revised consultation timetable approved by the Environment Court in March 2021 was the outcome of discussions between Jacks Point and the Committee following the first presentation to residents on 6 January 2021. As noted above, agreements were reached between the Committee and Jacks Point on the provision of further information and plans, including:

- a) An executive summary of the CDP document to enable easier consideration by residents with an overview of the planning process and high-level statistical information and status quo vs CDP land use plans for email and website distribution to residents.
- b) Updating CDP Documents on the Website to include:
 - i. Detailed forecast Populations
 - ii. Metrics regarding development use forecast GFA's and use (Commercial and residential floor areas etc)
 - iii. More illustrative examples of Village built form and open space out-comes
 - iv. Traffic and parking generation Numbers
 - v. Draft Design Guidelines
 - vi. Indicative land swaps plans
 - vii. Golf Routing Options
 - viii. Indicative costs for the maintenance of the additional open space to be provided within the CDP

In response to queries raised at workshops, Jacks Point also provided:

- a) The Vision Document - published on the website and with notice sent on 19 March 2021 (**Appendix 3**). The Vision document provides:
 - i. An area summary of precincts within the proposed CDP
 - ii. Comparison metrics for the extent of building (Site Coverage) and open space under the existing zoning with the proposed CDP
 - iii. Metric Indicative site coverage illustrations made for the existing Village plus Education Activity Areas; and the Proposed expanded Village Activity Area (March CDP Version)
 - iv. Further detail on the vision principles and design objectives
 - v. An illustrative site plan for the clubhouse surroundings

- vi. Illustrative cross-sections
 - vii. Reference Imagery
 - viii. Estimated GFA
- b) A CDP Summary Document emailed to residents along with the Chapter 41 provisions and proposed PDP Structure Plan posted to the Jacks Point website on 25 April 2021 (Attached as **Appendix 4**). The CDP Summary provides:
- i. Additional detail about the potential outcomes available within the Village under the decision's version of the PDP ("approved plan"), the proposed CDP and an alternative Village Activity Area combining the Village and Education Activity Areas.
 - ii. Plans to illustrate the potential routing options for the golf course using JPROA land and not using JPROA land.
- c) The CDP Summary presentation as presented at the 28 April 2021 final residents workshop meeting. Document emailed to residents and posted to the Jacks Point website on 30 April 2021. The summary presentation summarised the key themes that have come through from consultation, the background to the development of the CDP, including the Outline Development Plan

Jacks Point remain concerned with the extent to which the District Plan can, by itself, realise the vision and design objectives. Jacks Point is willing to proceed with a parallel process to address matters relating to the administration of the design guidelines, which link to the CDP through the matter of control relating to *"the formulation of design controls in relation to buildings, open space, and streetscapes and an appropriate legal mechanism to ensure their implementation"*.

Jacks Point is proposing to commence a process, outside and in parallel with the CDP s293 process, to develop the design guidelines and the administrative process and legal structures that need to be established to implement the design guidelines.

Issue 10: Ensuring certainty of the outcomes proposed by the CDP

A theme throughout consultation with residents has been the extent to which the proposed CDP will provide certainty of the vision and objectives proposed by the CDP. The two elements to this concern relate firstly, to how certainty is provided by the plan provisions, with the second being the legal structure of covenant controls and processes that can be established to support, in particular, the administration of the design guidelines.

One of the more significant changes to be made from the first consultation draft of the CDP (November 2020) and the subsequent March 2021 update related to extent of modifications to the provisions within Chapter 41. The initial CDP proposed to establish a nested activity table within Chapter 41 seeking to prescribe the status of the various activities provided for within each precinct. Further changes to the standards for the Village were also proposed including changes to site coverage, building height, scale of commercial activity and to embed elements from the CDP relating to the minimum ground floor height, pedestrian links, and design guidelines.

The feedback received from the Committee on this draft sought to remove many of the changes to the provisions within Chapter 41, in favour of incorporating the outcomes within the CDP. The legal advice to Jacks Point is that the potential use of s293 to incorporate the CDP into the District Plan can include consequential changes to the District Plan provisions.

Feedback from RCL is relevant also, as they consider the CDP should comprise CDP Plans and CDP standards to make it clear what is required for activities to be 'in accordance with' the CDP.

Some changes to the plan provisions are considered necessary to ensure that the outcomes envisaged by the CDP are realised, and do not create inconsistencies with the CDP, including:

- a) Changes to the Jacks Point Structure Plan to identify the extent of the proposed expanded Village Activity Area
- b) The insertion of the CDP into Chapter 41, through a new schedule located at the end of Chapter 41
- c) Removal of the provisions relating to the Education Activity Area that would occur if an extension to the Village occurs, as proposed
- d) Changes to rules, designed to:
 - i. Provide for a supermarket, which would be larger than 200m² in area
 - ii. Ensure that the range of activities provided within each precinct aligns with Rule 41.4.2.1
 - iii. Introducing a new restricted discretionary activity rule to provide greater control over the effects of building located on the western side of the expanded Lake Tewa

Jacks Point acknowledges however that the community have a degree of confidence in the use of covenants to establish a non-regulatory approach to maintaining a high-quality of built form. As noted above, Jacks Point considers the structure of the administration of the guidelines an important outcome and is committed to developing this in parallel to the proposed use of s293 and related changes to the District Plan.

Issue 11: Compliance with the Jacks Point Zone Policies

The feedback from the Committee is that the Chapter 41 provisions of the District Plan in regard to the requirements of a CDP for the Jacks Point Village have not been complied with. Further feedback received through the website raises similar concerns that the CDP did not meet the policies for a CDP within Chapter 41, including through the creation of CDP standards, precincts, and the geographic scope of the CDP.

The issue of the scale of the proposed CDP as it relates to the expanded Village Activity Area is addressed above.

The development of the precincts and CDP standards are in response to the dual requirements of the Chapter 41 CDP Rule 41.4.2.1 for activities to be "in accordance with" the CDP and the directive of Policy 41.2.1.19 for the CDP to address "land uses enabled with buildings". Precincts have been adopted as a planning tool to determine the spatial arrangement of activities, based on a logical grouping i.e. Mixed-Use, Residential, Open Space, etc. The proposed CDP Standards are used to establish what activities can occur within each precinct.

The Proposed Queenstown Lakes District Plan does not define (or limit) the use of the term precinct. It is acknowledged that precincts are used in the context of the Queenstown Town Centre Zone (Entertainment Precinct and Height Precinct) as well as the Arrowtown Historic Heritage Precinct.

The National Planning Standards define Precincts for District Spatial Layers as "*a precinct spatially identifies and manages an area where additional place-based provisions apply to modify or refine aspects of the policy approach or outcomes anticipated in the underlying*

zone(s).⁸ The National Planning Standards prescribes that precincts apply in the associated zone or across multiple zones, depending on the circumstances.

The National Planning Standard definition matches the intended approach for Jacks Point where multiple precincts are provided within the Jacks Point Village Activity Area to establish additional place-based provisions, in response to the policy direction to address land use. Although the precincts are created as part of the CDP, the CDP is considered a part of the Jacks Point Zone and thereby consistent with the approach anticipated by the National Planning Standard.

A key issue to resolve as part of the development of the CDP was how to create administrative certainty for all users, given the requirements for activities to be in accordance with the CDP. Additionally, the CDP needed to establish guidance over a range of matters for which control has been reserved for the activities provided for by this rule. Based on this and the matters contained within Policy 41.2.1.29 it was considered important that the CDP also incorporate design objectives and design guidelines so that the type of built form outcomes anticipated within each precinct could be determined.

The Interpretation and Application section within the CDP explains the operation of the CDP Standards, design objectives and design guidelines, as follows:

For these activities to fall within the CDP and be considered as a controlled activity, they are required to be in accordance with the CDP and be of sufficient detail to enable the matters of control is to be fully considered. In response to this Rule the CDP allocates land uses according to 'Precincts', including Visitor Accommodation, Mixed Use, Residential, Community and Open Space. Within each precinct are design objectives, a range of 'CDP Standards' and design controls. To be in accordance with the CDP proposed development will be required to satisfy the relevant CDP standards for that precinct (or precincts) and the relevant CDP Plans referenced within each standard

The CDP standards in effect become an extension to Rule 41.4.2.1 by prescribing where activities can occur and the necessary conditions (standards) that are required to be satisfied to meet this rule and qualify as a controlled activity.

An analysis of the relevant Policies from Chapter 41 is included below.

41.2.1.17	
a. Enable the Jacks Point Village Activity Area (VJP) to develop as the vibrant mixed use hub of the Jacks Point Zone, comprising a range of activities including:	
i. high and medium density residential housing;	Provided for in the Residential and Mixed Use Precincts as controlled activities
ii. a small local shopping centre that services the needs of Jacks Point residents and provides for small scale destination shopping and office space;	Commercial activity, including retailing is provided for in the Mixed Use Precinct. 41.5.2.1 restricts any single commercial activity to 200m ² excluding markets, showrooms, professional, commercial and

⁸ Clause 12, District Spatial Layers, National Planning Standards (November 2019)

	<p>administrative offices, service stations and motor vehicle sales.</p> <p>Proposed CDP standard 1.4.2.2 restricts single retail tenancies to 200m² with the exception of M-9 which has no limit, to enable a market in that Precinct.</p> <p>Proposed CDP plan and standard 1.4.2.2 restricts/confines retail to the ground floor of area noted as "Ground Floor Retail Frontage Plan"</p>
<i>iii. visitor accommodation;</i>	Provided for in the Mixed Use and Visitor Accommodation Precincts
<i>iv. education facilities, community activities, healthcare, and commercial recreation activities;</i>	Provided for in the Community and Mixed Use Precincts
<i>v. technology and innovation-based business.</i>	Provided for in the Mixed Use Precincts
<i>b. Enable the Homestead Bay Village Activity Area (V(HB)) to develop as a secondary commercial and mixed use centre supporting aquatic activities and the needs of residential activity around Homestead Bay.</i>	n/a
41.2.1.18	
<i>Enable commercial and community activities and visitor accommodation in the Jacks Point Village (V(JP)) and Homestead Bay Village (V(HB)) Activity Areas, provided residential amenity, health, and safety are protected or enhanced through:</i>	This policy is considered to provide support to establish for commercial and community activity and for visitor accommodation within the Village as a controlled activity through Rule 41.4.1.2, as well as a framework for assessing the effects of such activities that do not comply with the relevant standards set out within Chapter 41.
<i>a. compatible hours of operation and noise;</i>	<p>To a certain extent addressed in zone wide activity standards:</p> <p>41.4.5.1 premises licenced for sale of liquor is RD with matters of control including noise and hours of operation</p> <p>Otherwise relevant to activities that do not comply with relevant Chapter 41 standards</p>
<i>b. a high standard of building design;</i>	<p>Provided for at three levels:</p> <p>Rule 41.4.2.1 includes matter of control <i>g: the formulation of design controls in relation to buildings, open space, and streetscapes and</i></p>

	<p><i>an appropriate legal mechanism to ensure their implementation;</i></p> <p>Draft CDP Standards contain certain specified controls e.g. 1.5.3, 1.6.3</p> <p>And then the Design Guidelines and DRB that will be established to work alongside rule 41.4.2.1.g above</p>
<p><i>c. the location and provision of open space, buffers and setbacks;</i></p>	<p>Provided for at several places:</p> <p>CDP Plan specifies open space.</p> <p>Building coverage standards in 41.5.2.2 and 41.5.2.3 brought through to CDP standards on a Precinct-by-Precinct bases.</p> <p>Site coverage</p> <p>Rule 41.4.2.1 matters of control a and b:</p> <p><i>a. the layout and orientation of built form, open spaces, roading pattern, car parking, and pedestrian and cycle access;</i></p> <p><i>b. the bulk, location and external appearance of buildings and associated including the creation of active frontages adjacent to roads and public spaces;</i></p> <p>Draft CDP Standards contain certain specified design controls e.g. 1.5.3, 1.6.3</p> <p>And then the Design Guidelines and DRB that will be established to work alongside rule 41.4.2.1.a and b. above</p>
<p><i>d. appropriate landscape mitigation;</i></p>	<p>Provided for at several places:</p> <p>Rule 41.4.2.1 matter of control <i>e. landscaping</i></p> <p>Open Space Precinct in the CDP</p> <p>CDP Standards include direction in respect of Open Space and Streetscapes.</p> <p>Implementation of open space required to enable associated VA precinct development</p>
<p><i>e. efficient design of vehicle access and car parking; and</i></p>	<p>Provided for at several places:</p> <p>Rule 41.4.2.1 matter of control includes:</p> <p><i>a. the layout and orientation of built form, open spaces, roading pattern, car parking, and pedestrian and cycle access;</i></p>

	CDP Standards 1.7.3 include Design Controls in respect of primary and secondary roads and streets. CDP Plans include roading, pedestrian and cycle network plans
<i>f. an appropriate scale of activity, and form of building development.</i>	Generally covered by use of Precincts to direct scale of activities into particular areas with addition restrictions applying to scale and location of commercial activity through Rule 41.5.2.1
41.2.1.18	
<i>Encourage high quality urban design throughout the Jacks Point Village (V(JP)) and Homestead Bay Village (V(HB)) Activity Areas by:</i>	Policy 41.2.1.18 is considered the basis for establishing the CDP and what the CDP needs to address. It also provides the necessary support for high quality urban design regardless of the CDP and including activities that fail to comply with the CDP.
<i>a. requiring all subdivision and development to be in accordance with a Comprehensive Development Plan incorporated in the District Plan, which shall establish an integrated and coordinated layout of open space; built form; roading patterns; pedestrian, cycle access, and carparking; the land uses enabled within the buildings; streetscape design; design controls in relation to buildings and open space; and an appropriate legal mechanism to ensure their implementation;</i>	<p>The creation of ‘precincts’ together with the associated CDP standards are in direct response to the requirement of the CDP to manage “land uses enabled with buildings”.</p> <p>CDP plans identify and address the roading, pedestrian and cycle access and open space</p> <p>Guidelines within the CDP establish the outcomes for streetscape design and design controls.</p>
<i>b. requiring the street and block layouts and the bulk, location, and design of buildings to minimise the shading of public spaces and to avoid the creation of wind tunnels;</i>	<p>Block layout is identified through the CDP plans with design guidelines addressing the design of building and public spaces.</p> <p>The layout of the proposed streets combined with limitations on building height are considered appropriate to avoid the creation of wind tunnels.</p>
<i>c. encouraging generous ground floor ceiling heights for commercial buildings that are relatively consistent with others in the village; and</i>	<p>A minimum ground floor height is proposed to be established within the Ground Floor Retail Frontage overlay as a means of activating these street frontages.</p> <p>By using precincts and the related activity lists (within the CDP Standards) this policy direction can be targeted to areas where commercial activity is provided for i.e. the Mixed-Use Precinct.</p>

<p><i>d. encouraging the incorporation of parapets, corner features for landmark sites, and other design elements in order to achieve a positive design outcome and providing for a 3 storey building height in the Jacks Point Village Activity Area and 2 storey commercial building height in the Homestead Bay Village Activity Area.</i></p>	<p>This is addressed within the Design Objectives for Mixed Use, controlled rule 41.4.2.1.b and g and the requirement for Design Guidelines.</p>
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5.0 Summary of changes to be made to the CDP

In response to matters raised during consultation and the consideration of options, Jacks Point propose to undertake the following changes to the Chapter 41 provisions and the draft CDP, as below.

The revised CDP is contained within **Appendix 11** (including changes to the proposed structure plan), the revised Chapter 41 provisions are contained within **Appendix 12**

Chapter 41 Jacks Point Zone

- a) Changes to the Jacks Point Structure Plan (**Appendix 11**) to identify the extent of the proposed expanded Village Activity Area
- b) The insertion of the CDP into Chapter 41, through a new schedule located at the end of Chapter 41
- c) Removal of the provisions relating to the Education Activity Area that would occur if an extension to the Village occurs, as proposed
- d) Changes to rules, designed to:
 - i. Provide for a supermarket, which would be larger than 200m² in area
 - ii. Ensure that the range of activities provided within each precinct aligns with Rule 41.4.2.1, including the provision of non-accessory car parking.
 - iii. Introducing a new restricted discretionary activity rule to provide greater control over the effects of building located on the western side of the expanded Lake Tewa

CDP Plans

- e) Modify the CDP transportation plan to identify the location of communal (non-accessory) parking areas within the Village and removal of the indicative road access extending to visitor accommodation precincts VA-3, VA-4, VA-4 and VA-6 from the road network and hierarchy plan
- f) Identify areas for community activities, including to provide a mechanism to ensure certain community facilities are provided in association with the development of the CDP
- g) Modification of the pedestrian network plan to provide for access routes that are either directly along the lake or in closer proximity

- h) Modification of the land use precincts so that for Visitor Accommodation precincts VA-8, VA-9, VA-10, and VA-11 become Mixed Use precincts MU-4, MU-6A/B, MU-14, MU-15, and MU-16 – designed to ensure a more active public waterfront

CDP Standards

- i) To establish a new CDP Standard that there is no occupation of building within a visitor accommodation precincts VA-3, VA-4, VA-5 and VA-6 until the relevant amenities have been established and any related land transferred into community ownership.

CDP Design Guidelines

- j) Establish further design guidance for all building within precincts VA-4, VA-5, VA-6 and VA-7 that seeks to better articulate the outcomes for these precincts, including to:
 - iv. Restrict vehicle access and establishing these areas as visitor destinations with pedestrian and golf cart access only become car free, buildings designs are specifically to exclude visitor parking and focus on pedestrian and electric vehicle access into the Village
 - v. Break up the scale and mass of buildings
- k) Formulation of design guidance requiring on-site parking to be incorporated into all building design, located outside visitor accommodation precincts VA-3, VA-4, VA-4 and VA-6

Other Matters

- l) Jacks Point is to initiate a process to consider the legal structure for the administration of the design guidelines.

Appendix 1: CDP Consultation Draft (November 2020)

13 November 2020

clivegeddes@xtra.co.nz
 jo@landla.co.nz
 Richard@brabant.co.nz
 shannon@brabant.co.nz
 graeme@toddandwalker.com
 ben@toddandwalker.com
 james@jghbarrister.com
 Mike.Wakefield@simpsongrierson.com
 Sarah.Scott@simpsongrierson.com
 Rachael.Mortiaux@simpsongrierson.com

Level 2
 13 Camp Street
 Queenstown 9300

PO Box 201
 Queenstown 9348
 New Zealand

al.nz

Dear Parties

Jacks Point Village Draft Comprehensive Development Plan for Consultation

1 In accordance with the Court's direction in the Minute of 15 October at [4] (c), accompanying this letter for the purpose of consultation is the following:

- (a) Updated Draft Comprehensive Development Plan layers (**draft CDP**) (regulatory):
 - (i) Figure 2 Comprehensive Development Plan
 - (ii) Figure 2 Site Coverage Comprehensive Development Plan
 - (iii) And to assist with interpretation (non-regulatory):
 - (1) Jacks Point Village CDP – Illustrative Masterplan and existing development
 - (2) Jacks Point Village CDP Vignettes and Cross Sections
- (b) Summary of activity status and standards for activities in each of the Precincts identified on the draft CDP ("JPV Summary of CDP");
- (c) Updated Jacks Point Zone provisions with corresponding changes referencing the draft Comprehensive Development Plan ("Chapter 41 – Jacks Point Village – s293")
- (d) Updated Jacks Point Zone Structure Plan ("Figure 1 Sheet 1 JPZ Structure Plan for s293")

2 Key points to note in respect of the attached, that are expanded on in the summary, are the following:

- (a) The Village CDP proposes no additional site coverage/development above what is currently proposed in the District Plan. The broadening of the Village Activity Area allows for the integration of open space within and around precincts of less dense development.
- (b) Site coverage is restricted through a standard that references the CDP, such that total site coverage contemplated is less than 12.00ha. This is below the site coverage contemplated in the Council's decision version for the Education and Village Activity Areas of 12 ha. .
- (c) The Village Activity Area is expanded to include approximately 16.80ha of new dedicated community open space providing community frontage to Lake Tewa within the "Village

Open Space Precinct" that will provide specifically for community open space integrated with the water bodies and extensive access and trail networks through the Village and to the wider zone. Additional open space will be provided throughout the village precincts and public realm.

- (d) This open space is complemented with an additional 5km of dedicated pedestrian and cycle trails to connect into the existing network of trails and community open space through Jacks Point.
 - (e) Approximately 4.00ha of blue space is proposed to be added to Lake Tewa, allowing for an increase in water based recreation and amenity.
 - (f) The height and number of storeys standard is as per the decision version, at 3 storeys and 12m (breach non complying), with the exception of an allowance for 3 precinct areas to go up to 15m, for only 20% of the building footprint, as a Discretionary activity.
- 3 In accordance with paragraph [4](d) of the above Minute, we have written separately to Mr Geddes in his role as Chair of the Residential Precinct Committee of the JPROA, and QLDC to confer on the form and plan for consultation with Jacks Point Residents and the Ministry of Education. It is proposed that prior to consultation meetings taking place, additional explanatory information will be provided to explain the reasoning and process that went into development of the draft CDP and provisions, to illustrate the intended outcomes. This will also include draft updated Village Design Guidelines at will be consulted on as part of this process also.
- 4 We will be in touch soon with further information regarding the consultation process. In the meantime we are happy to respond to any questions in respect of the information provided to date.

Yours faithfully
Anderson Lloyd

Maree Baker-Galloway

Maree Baker-Galloway

Partner

d +64 3 450 0736

m +64 27 295 4704

e maree.baker-galloway@al.nz

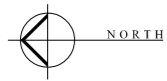


FIGURE 2
COMPREHENSIVE DEVELOPMENT PLAN
 Jacks Point Zone
 For S293 - Jacks Point Version

SCALE: 1:2000 (A1); 1:4000 (A3)

Rev Q 9 NOVEMBER 2020



KEY

- R(JP) Residential Jacks Point
- R(JP-SH) Residential Jacks Point - State Highway
- V(JP) Village Jacks Point
- R(HD) Residential Hanley Downs

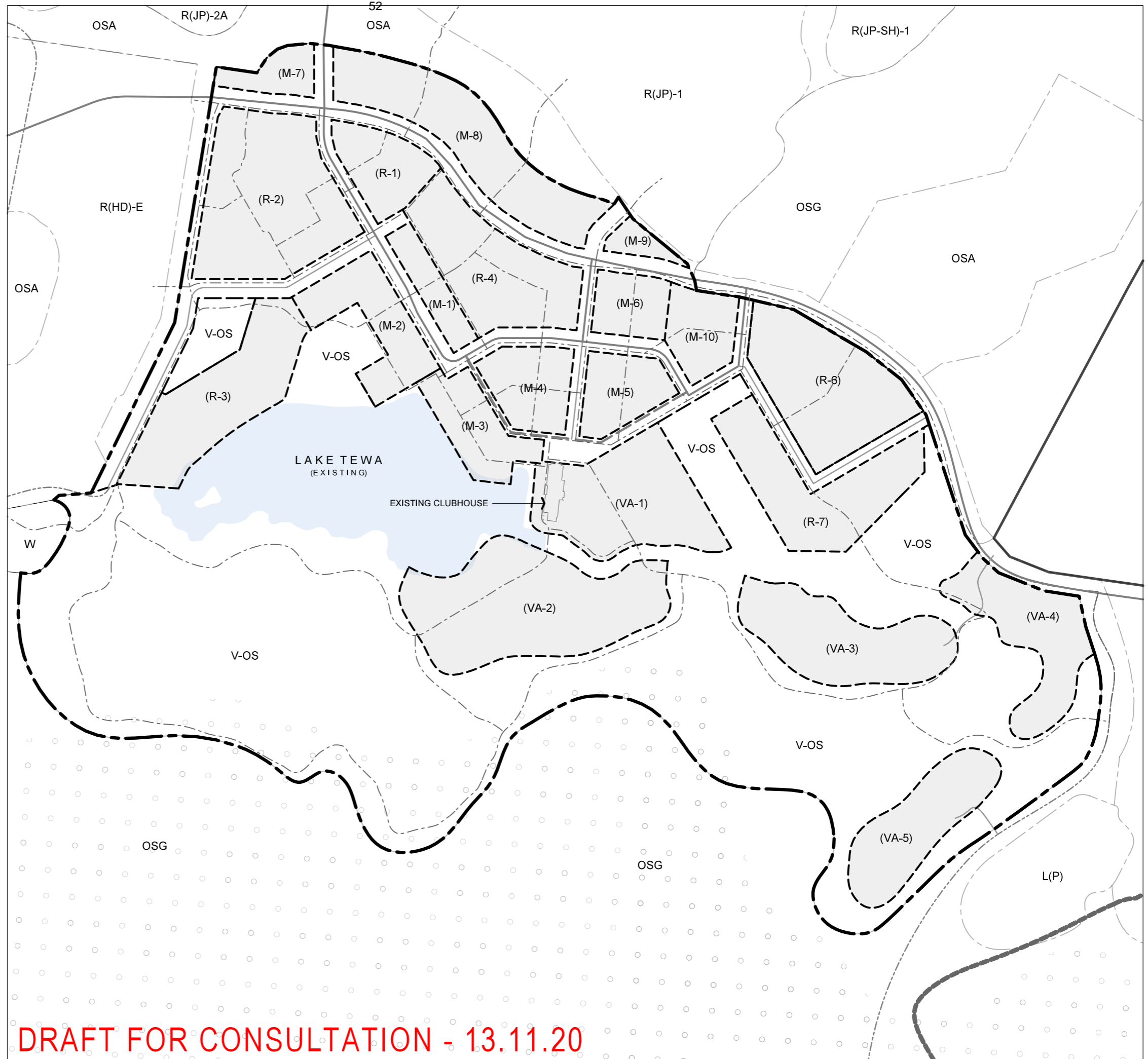
L(P) Lodge Parking

- W Wetland
- OSG Open Space Golf
- OSA Open Space Residential Amenity

- Activity Area
- Public Access Routes and Laneways (location indicative)
- Secondary Road Access (location indicative)
- Primary Road Access (location indicative)
- Shared Space Access (location indicative)

LANDUSE PRECINCTS AND OVERLAYS

- (MU) Mixed Use Precinct
- (VA) Visitor Accommodation Precinct
- (R) Residential Precinct
- (V-OS) Village Open Space Precinct
- Tablelands Landscape Protection Area



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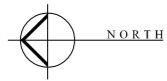
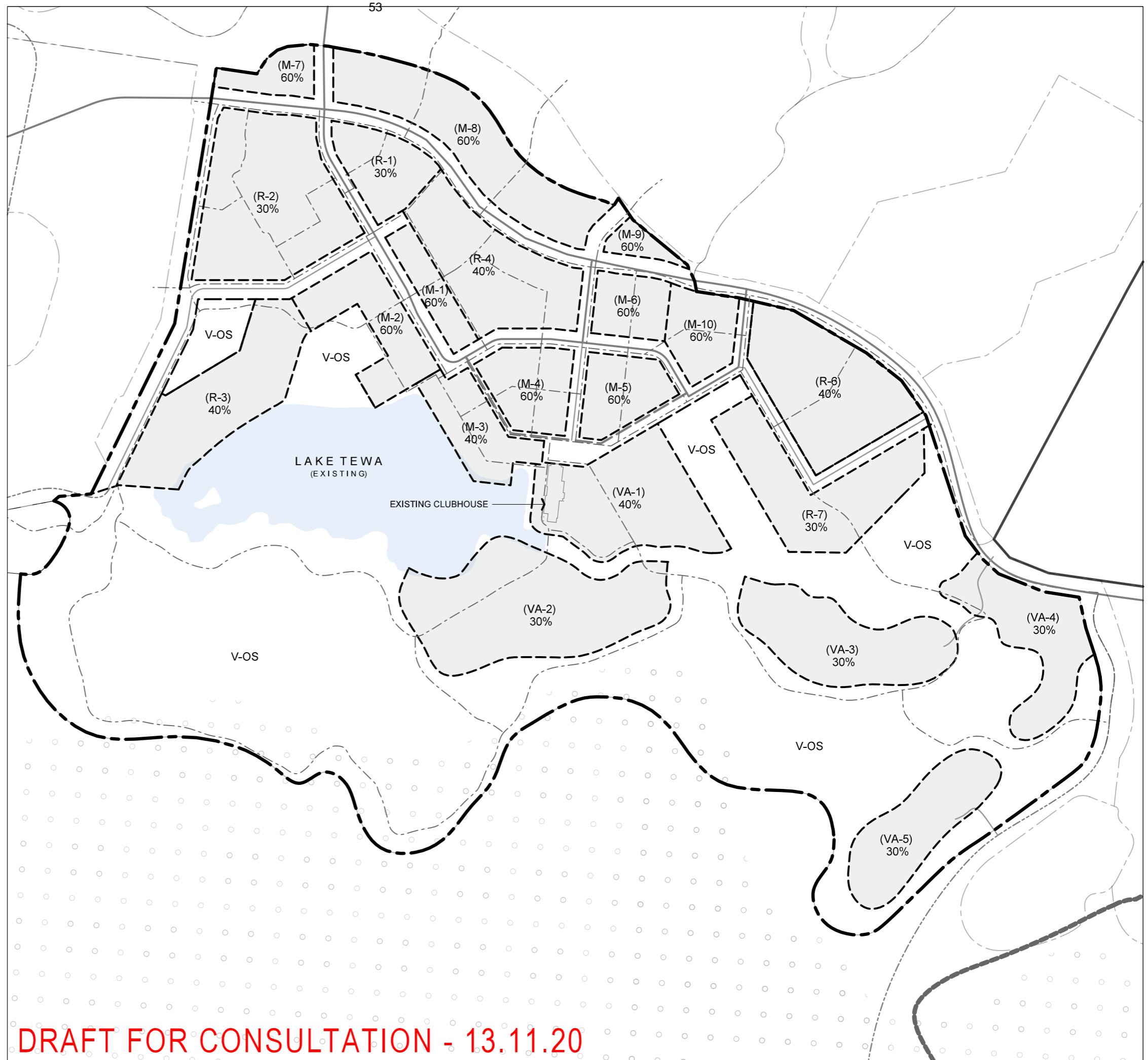


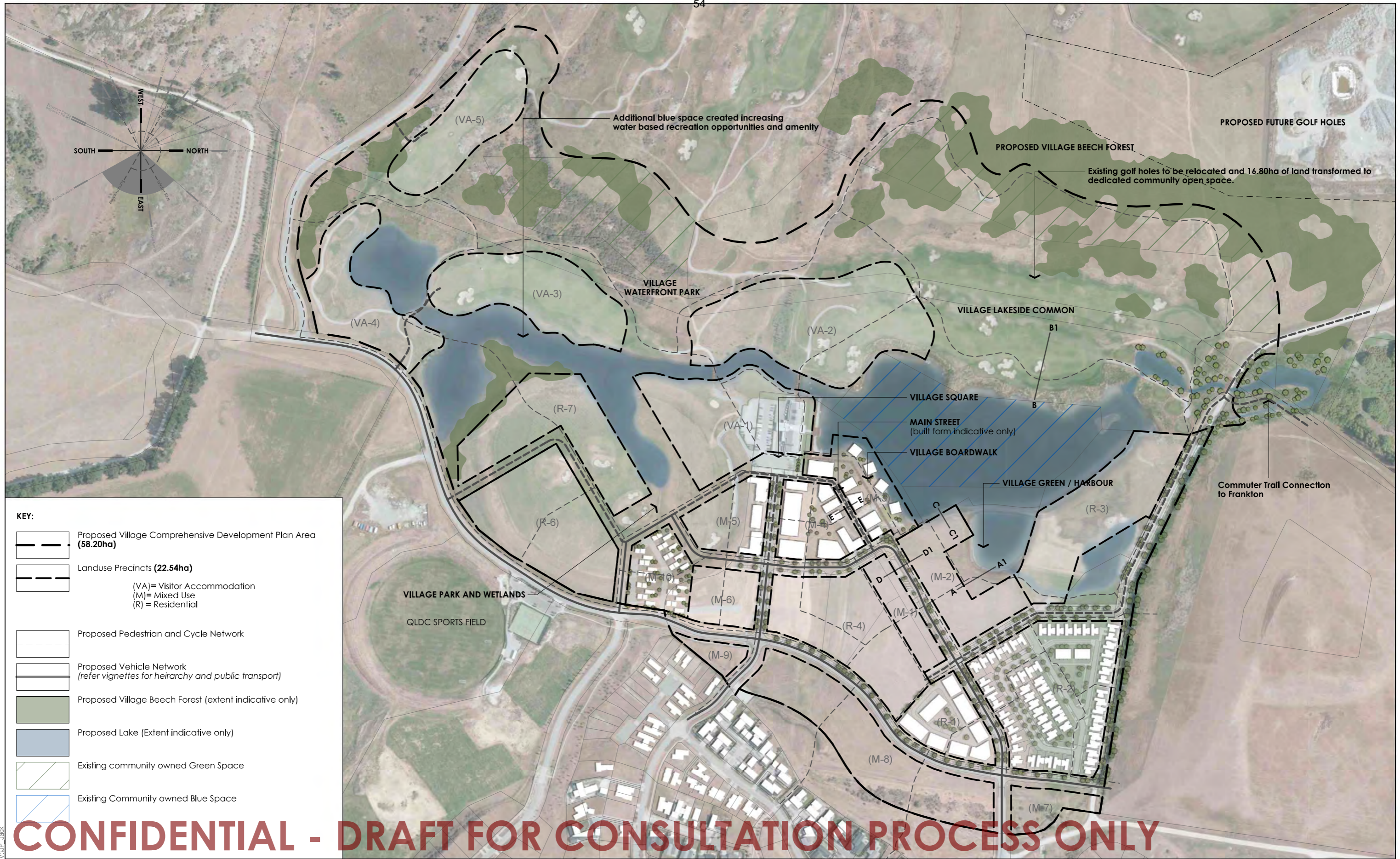
FIGURE 2 - SITE COVERAGE
COMPREHENSIVE DEVELOPMENT PLAN
Jacks Point Zone
For S293 - Jacks Point Version

SCALE: 1:2000 (A1); 1:4000 (A3)

Rev Q 9 NOVEMBER 2020



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KEY:

- Proposed Village Comprehensive Development Plan Area (58.20ha)
- Landuse Precincts (22.54ha)
 - (VA)= Visitor Accommodation
 - (M)= Mixed Use
 - (R) = Residential
- Proposed Pedestrian and Cycle Network
- Proposed Vehicle Network (refer vignettes for heirarchy and public transport)
- Proposed Village Beech Forest (extent indicative only)
- Proposed Lake (Extent indicative only)
- Existing community owned Green Space
- Existing Community owned Blue Space

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DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz

SCALE: 1:2000 (A1); 1:4000 (A3)

 CONSULTANTS:

NOTES:
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REVISION:

NO	DESCRIPTION	DATE	DRAWN	REVIEWED	APPROVED
-	Indicative Masterplan	12.11.20	TG	-	-

JACKS POINT VILLAGE - CDP
 ILLUSTRATIVE MASTERPLAN
 AND EXISTING DEVELOPMENT

PLAN STATUS:	JOB CODE:	DRAWING NO:	REV:
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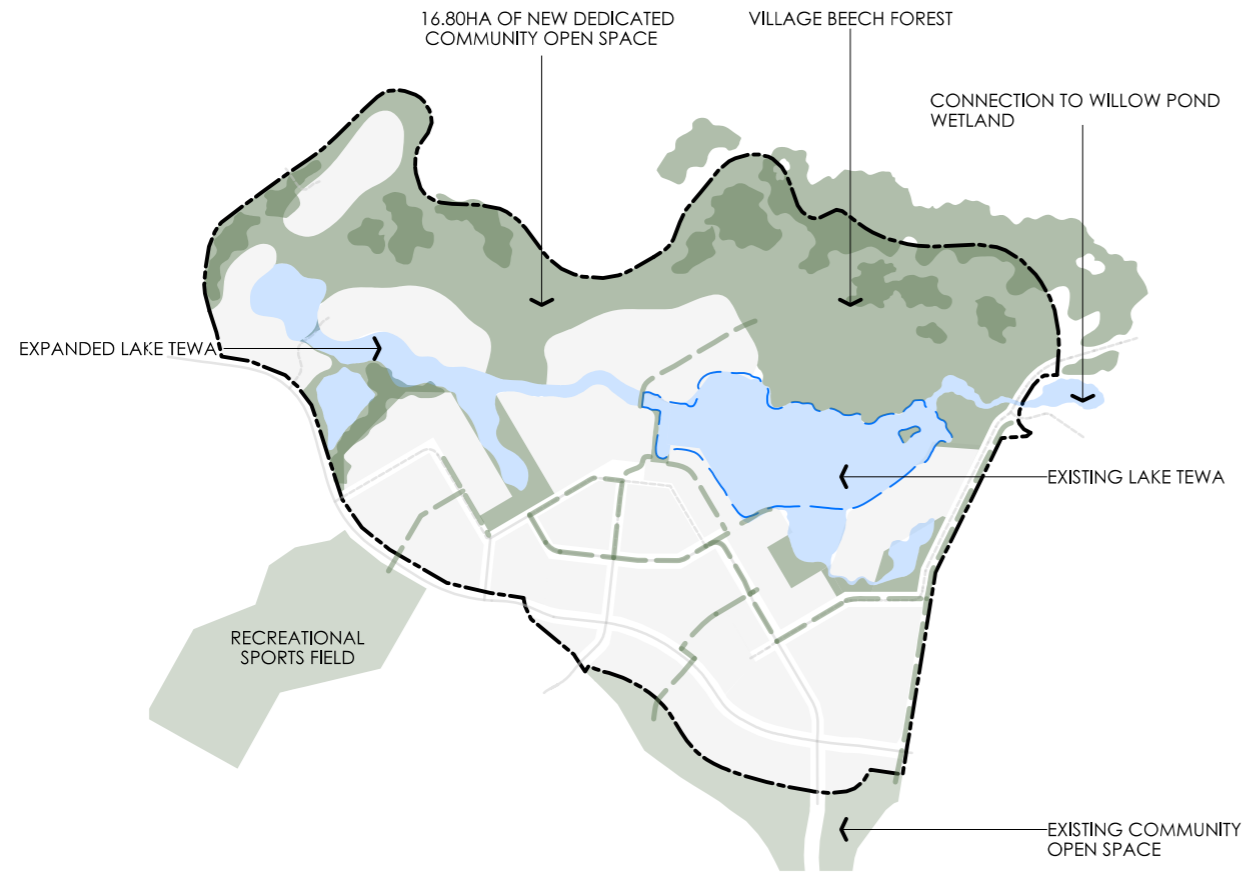
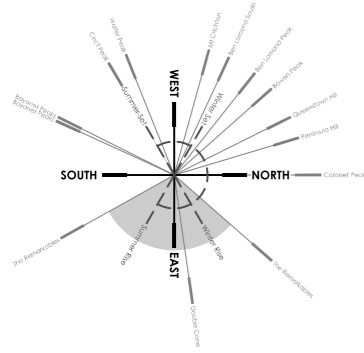


DIAGRAM 1
VILLAGE GREEN AND BLUE SPACE NETWORK
1:5000

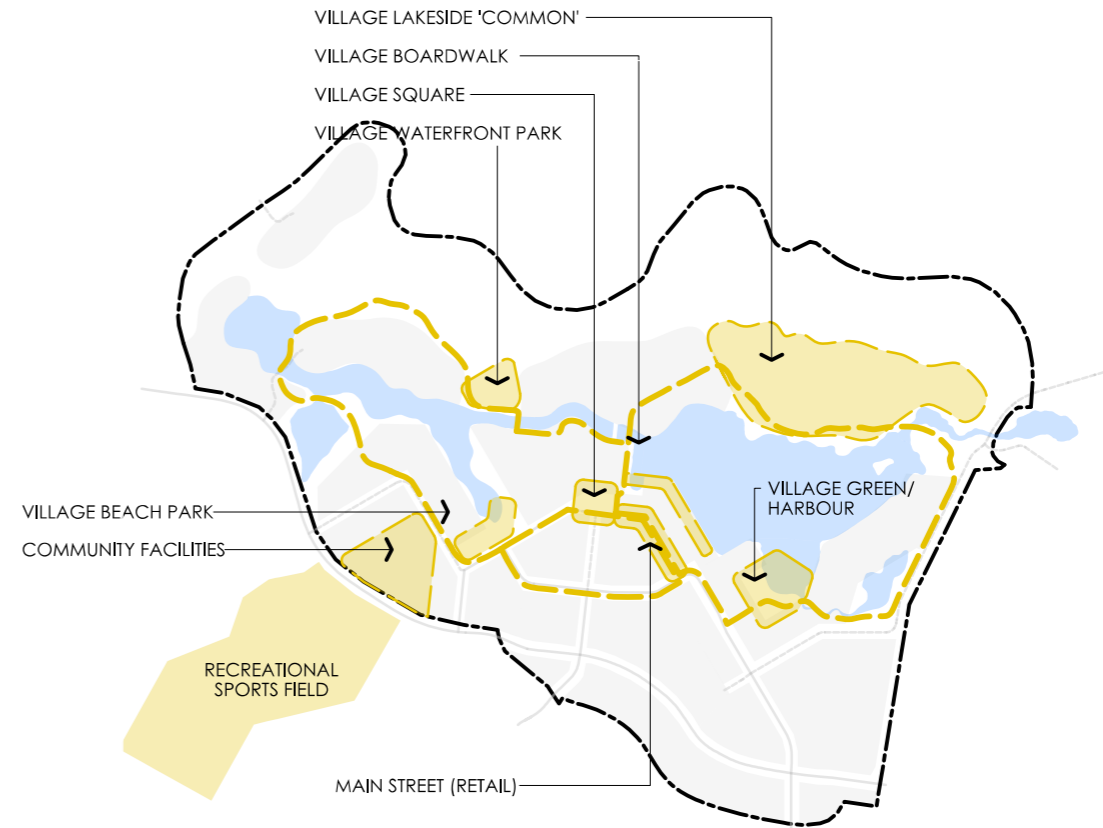


DIAGRAM 2
COMMUNITY SPACES AND CONNECTIONS
1:5000
— LAKEFRONT CYCLE AND PEDESTRIAN LINK

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Level 1, Steamer Wharf, Lower Beach Street
PO Box 1164, Queenstown 3348
Tel +64 3 450 2200 Fax +64 3 441 1451
info@darbypartners.co.nz
www.darbypartners.co.nz

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NO	DESCRIPTION	DATE	DRAWN	REVIEWED	APPROVED
-	Indicative - For Discussion Only	17.09.20	TG	-	-
A	Indicative - For Discussion Only	21.09.20	TG	-	-
B	Indicative - For Discussion Only	06.10.20	JG	-	-
C	Indicative - For Discussion Only	13.11.20	JG	-	-

JACKS POINT VILLAGE - CDP OPEN SPACE NETWORK - COMMUNITY SPACES INDICATIVE VIGNETTES

PLAN STATUS: **DRAFT** JOB CODE: JP_20_10 CDP - 003.01 DRAWING NO: REV: **C**

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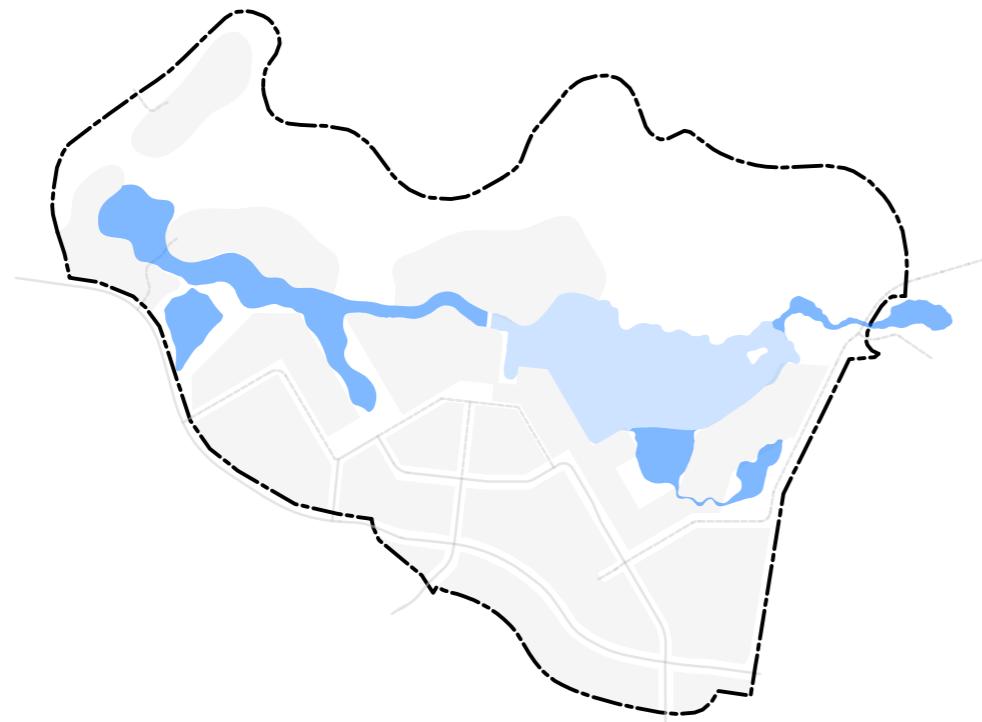
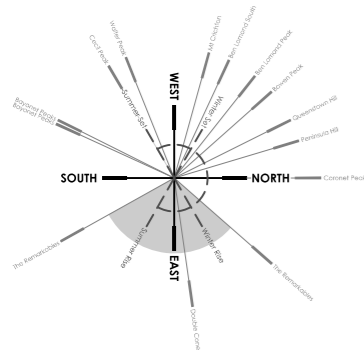


DIAGRAM 3
EXISTING AND PROPOSED BLUE NETWORK
1:5000

- EXISTING LAKE
- PROPOSED LAKE EXTENSION (INDICATIVE ONLY SUBJECT TO CHANGE)
- 4.00HA OF NEW LAKE ADDED TO BLUE NETWORK

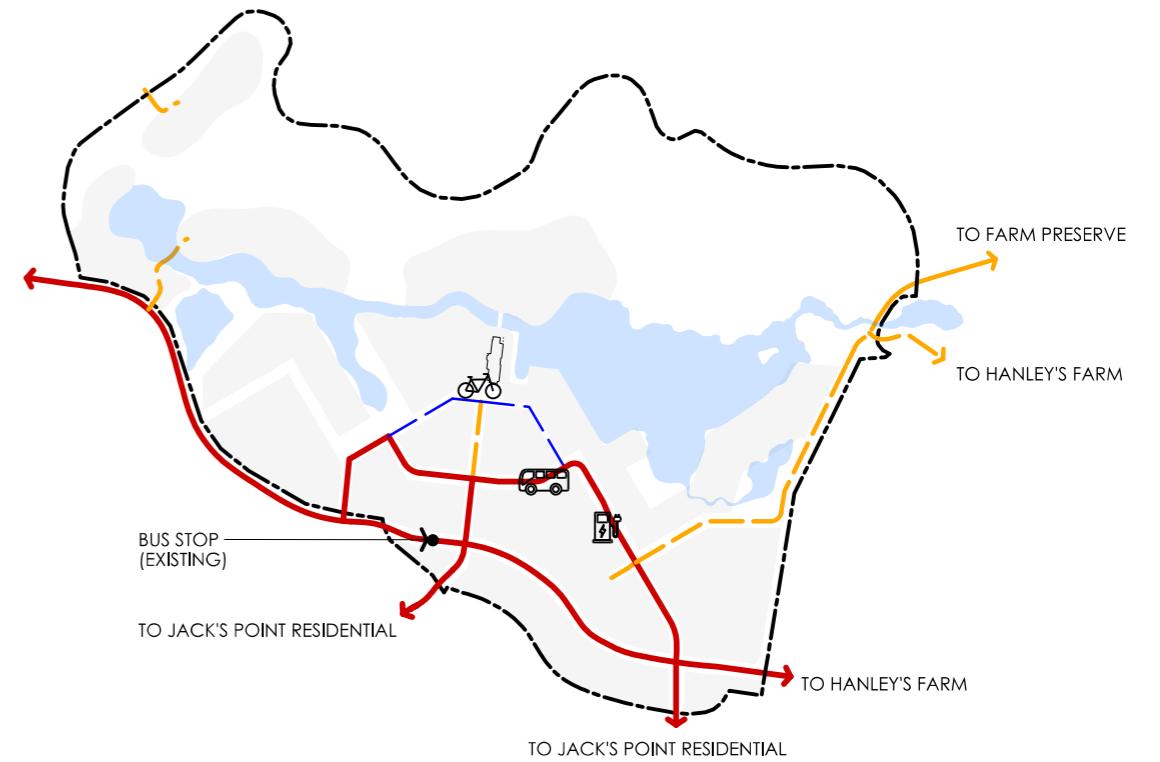


DIAGRAM 4
DEDICATED ROAD HIERARCHY NETWORK
1:5000

- PRIMARY
- SECONDARY
- SHARED STREET
- BIKE STORAGE
- BUS STOP
- ELECTRIC CAR CHARGING

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Level 1, Steamer Wharf, Lower Beach Street
PO Box 1164, Queenstown 3348
Tel +64 3 450 2200 Fax +64 3 441 1451
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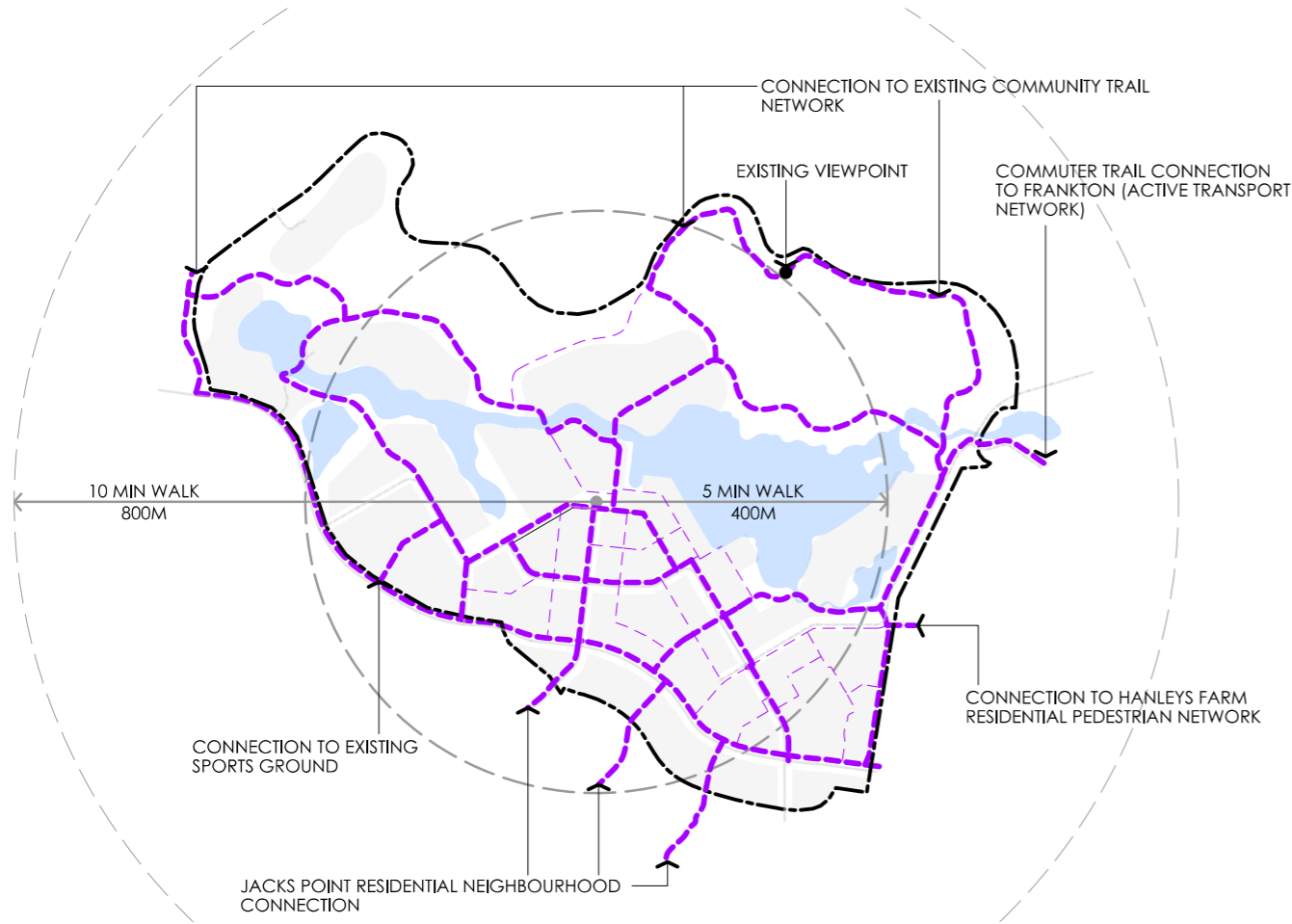
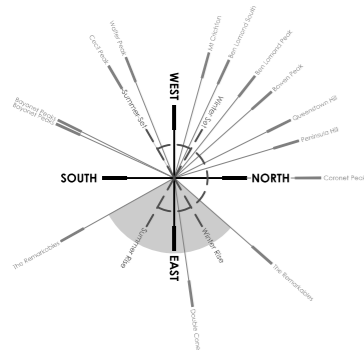
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C	Indicative - For Discussion Only	13.11.20	JG	-	-

JACKS POINT VILLAGE - CDP
BLUE AND ROADING NETWORK
INDICATIVE VIGNETTES

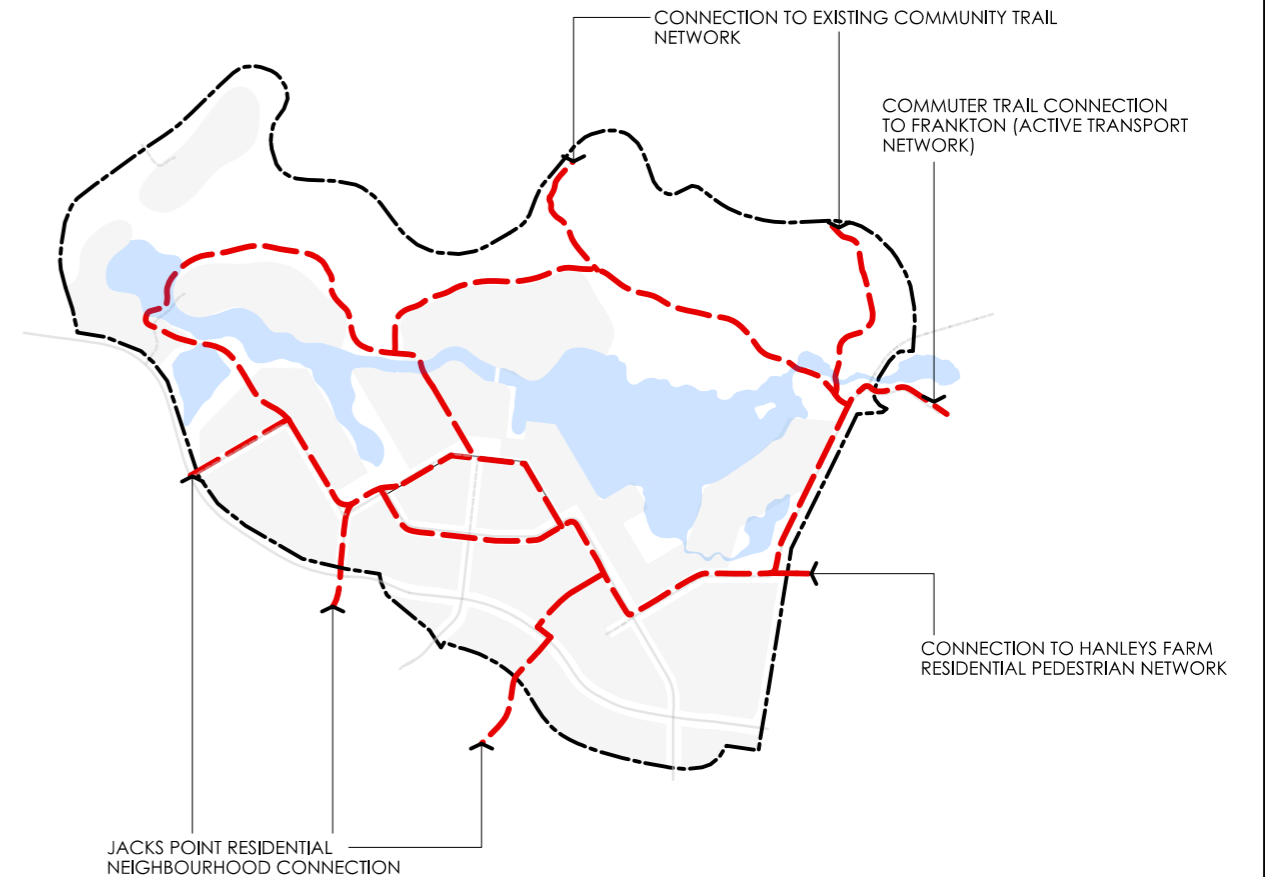
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**DIAGRAM 5
DEDICATED PEDESTRIAN PATH NETWORK**
1:5000

- DEDICATED PEDESTRIAN NETWORK (5503.31M)
- MINOR PEDESTRIAN NETWORK (LANEWAYS)



**DIAGRAM 6
CYCLE TRAIL NETWORK**
1:5000

- DEDICATED CYCLE NETWORK (4226.09M)

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DARBY PARTNERS
Level 1, Steamer Wharf, Lower Beach Street
PO Box 1164, Queenstown 3348
Tel +64 3 450 2200 Fax +64 3 441 1451
info@darbypartners.co.nz
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C	Indicative - For Discussion Only

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17.09.20	TG	-	-
21.09.20	TG	-	-
06.10.20	JG	-	-
13.11.20	JG	-	-

**JACKS POINT VILLAGE - CDP
PEDESTRIAN, CYCLE NETWORK
INDICATIVE VIGNETTES**

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10 CDP - 003.03** DRAWING NO: REV: **C**

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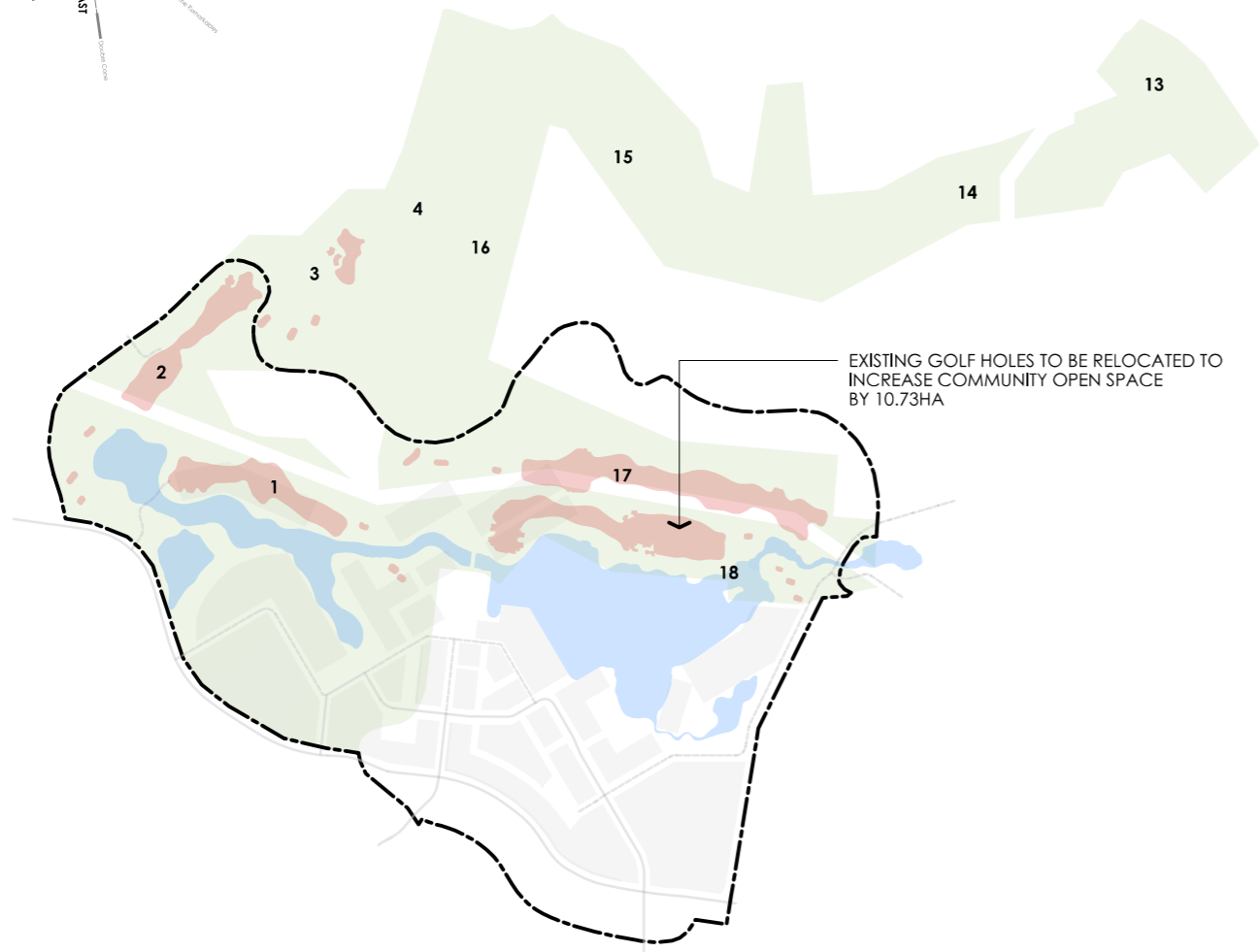
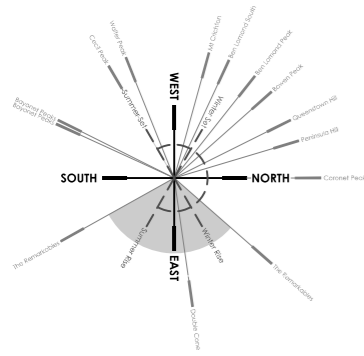


DIAGRAM 7
EXISTING GOLF HOLES - VILLAGE OVERLAY
 1:5000

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 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
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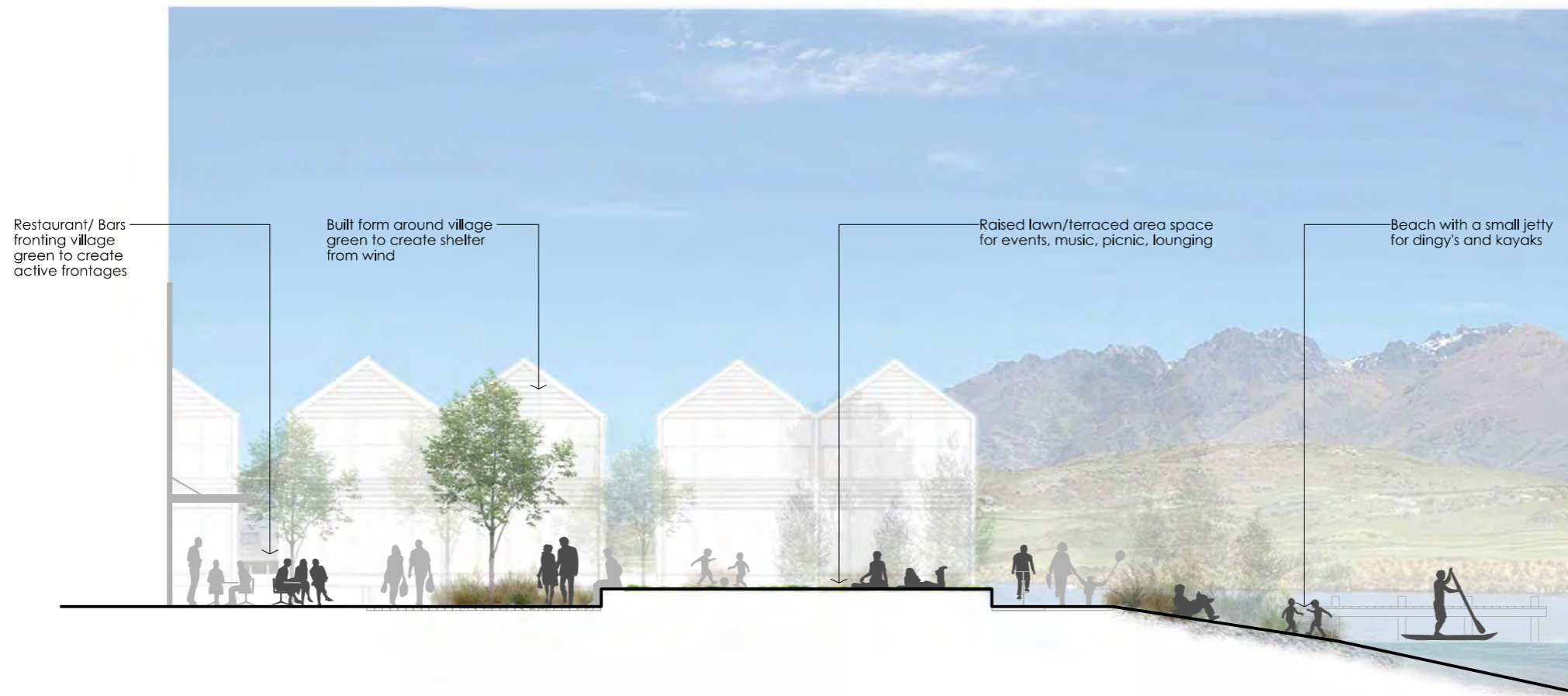
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B	Indicative - For Discussion Only	06.10.20	JG	-	-
C	Indicative - For Discussion Only	13.11.20	JG	-	-

JACKS POINT VILLAGE - CDP
GOLF COURSE
EXISTING AND PROPOSED GOLF HOLES

PLAN STATUS: **DRAFT** JOB CODE: DRAWING NO: **JP_20_10 CDP - 003.04** REV: **C**



A-A1 Village Green - Indicative Cross Section

DRAFT - FOR CONSULTATION ONLY

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DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz

SCALE: 1:75 (A1); 1:1,50 (A3)



CONSULTANTS:

NOTES:

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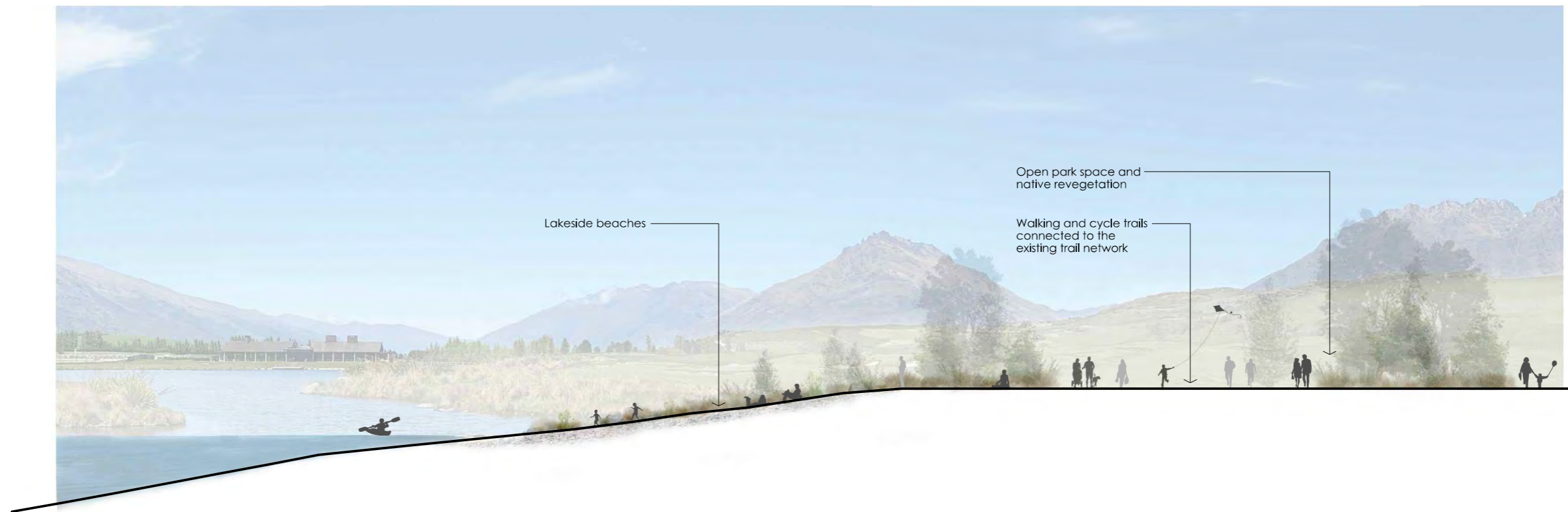
REVISION:

NO	DESCRIPTION
-	Indicative - For Discussion Only

DATE	DRAWN	REVIEWED	APPROVED
13.11.20	JG	-	-

JACKS POINT VILLAGE - CDP
VILLAGE GREEN
INDICATIVE CROSS SECTION A-A1

PLAN STATUS:	JOB CODE:	DRAWING NO:	REV:
DRAFT	JP_20_10	CDP - 006.01	-



B-B1 Village Lakeside Commons - Indicative Cross Section

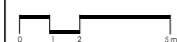
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DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
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SCALE: 1:125 (A1): 1:250 (A3)



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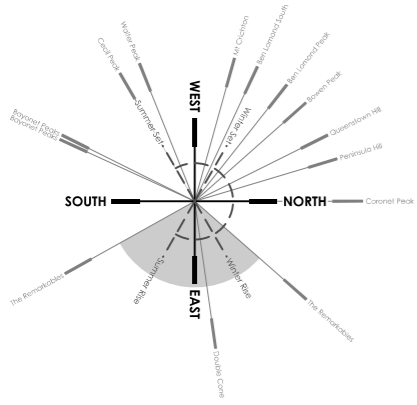
REVISION:

NO	DESCRIPTION
-	Indicative - For Discussion Only

DATE	DRAWN	REVIEWED	APPROVED
13.11.20	JG	-	-

JACKS POINT VILLAGE - CDP
VILLAGE LAKESIDE COMMONS
INDICATIVE CROSS SECTION B-B1

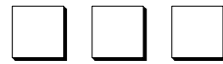
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DRAFT	JP_20_10	CDP - 006.02	-



C-C1 Village Waterfront Boardwalk - Typical Cross Section

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DARBY PARTNERS
Level 1, Steamer Wharf, Lower Beach Street
PO Box 1164, Queenstown 3348
Tel +64 3 450 2200 Fax +64 3 441 1451
info@darbypartners.co.nz
www.darbypartners.co.nz

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DATE	DRAWN	REVIEWED	APPROVED
13.11.20	JG	-	-

JACKS POINT VILLAGE - CDP VILLAGE WATERFRONT BOARDWALK TYPICAL CROSS SECTION C-C1

PLAN STATUS:	JOB CODE:	DRAWING NO:	REV:
DRAFT	JP_20_10 CDP - 006.03		-



D-D1 Village Primary Road - Indicative Cross Section

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DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz

SCALE: 1:50 (A1): 1:100 (A3)



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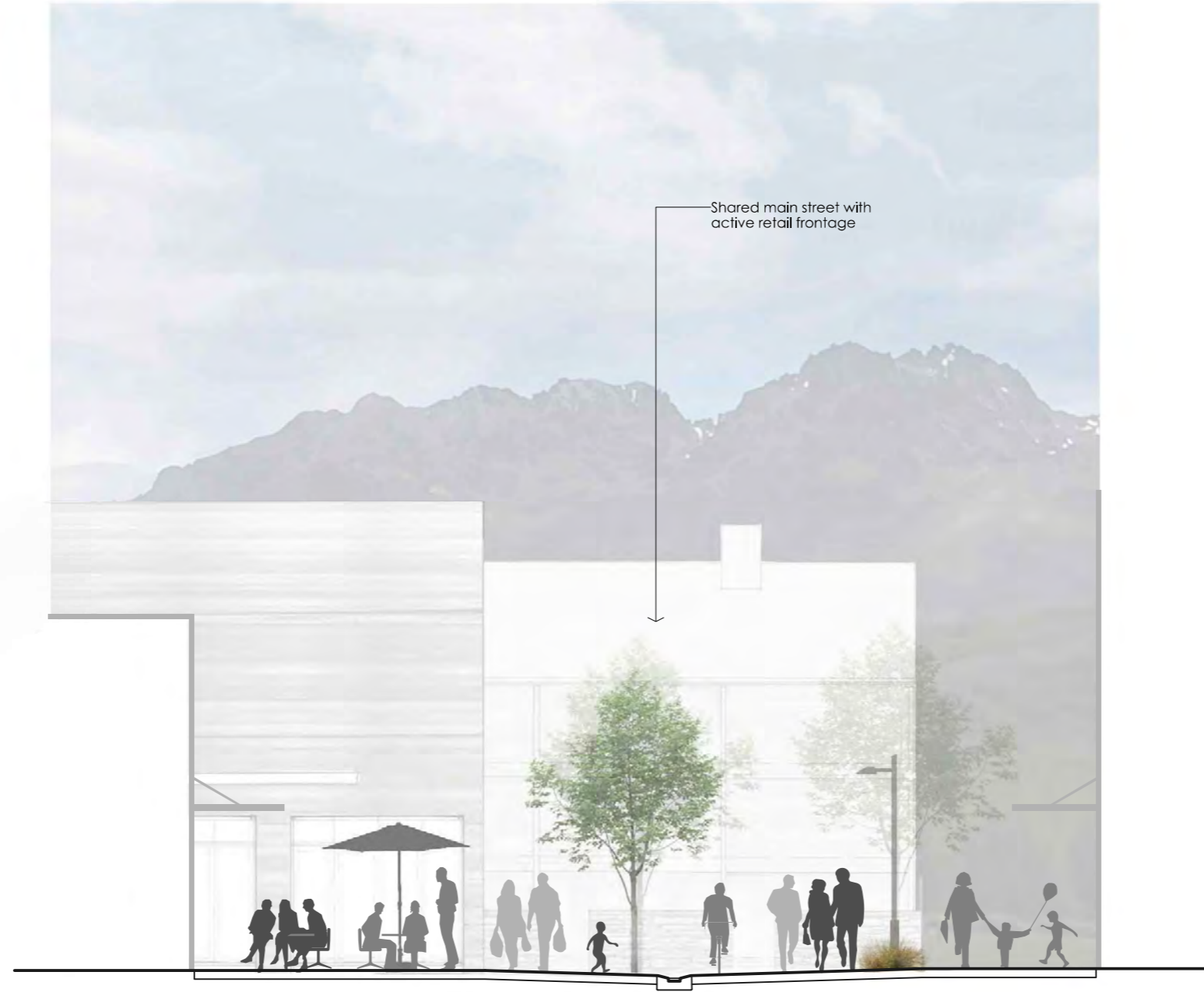
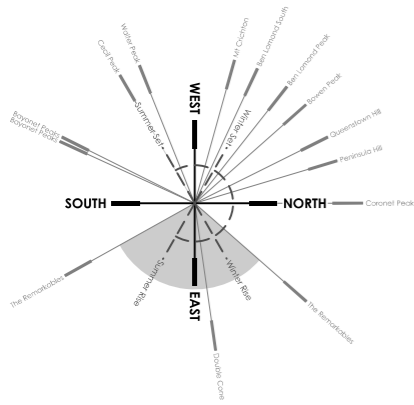
REVISION:

NO	DESCRIPTION
-	Indicative - For Discussion Only

DATE	DRAWN	REVIEWED	APPROVED
13.11.20	JG	-	-

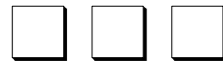
JACKS POINT VILLAGE - CDP
VILLAGE PRIMARY ROAD
INDICATIVE CROSS SECTION D-D1

PLAN STATUS:	JOB CODE:	DRAWING NO:	REV:
DRAFT	JP_20_10	CDP - 006.04	-



E-E1 Village Main Street - Indicative Cross Section

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DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
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SCALE: 1:50 (A1); 1:100 (A3)



CONSULTANTS:

NOTES:

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REVISION:

NO	DESCRIPTION
-	Indicative - For Discussion Only

DATE	DRAWN	REVIEWED	APPROVED
13.11.20	JG	-	-

JACKS POINT VILLAGE - CDP
 VILLAGE MAIN STREET
 INDICATIVE CROSS SECTION E-E1

PLAN STATUS:	JOB CODE:	DRAWING NO:	REV:
DRAFT	JP_20_10	CDP - 006.05	-

Jacks Point Village

Summary of Comprehensive Development Plan

The Comprehensive Development Plan

The CDP is used to identify the location of activities through identified precincts and also establish outcomes for buildings, as illustrated through several diagrams. The four Precincts are residential, visitor accommodation, mixed use and open space.

The Village CDP proposes no additional site coverage/development outside of what is currently proposed in the district plan. The broadening of the village activity area allows for integration of open space within and around precincts of less dense development.

The CDP includes the addition of approximately 16ha of new dedicated community open space providing community frontage to Lake Tewa. This open space is complemented with an additional 5km of dedicated pedestrian and cycle trails to connect into the existing network of trails and community open space through Jacks Point. Wider connections for commuters are being explored to connect to Frankton.

Pedestrian and cycle connections will link directly to key village spaces such as the village green, plaza, waterfront park and village common.

As a part of this dedicated community open space, a beech forest is proposed to provide a visual backdrop to the village and additional amenity to residents.

Approximately 4.00ha of blue space is proposed to be added to Lake Tewa, allowing for an increase in water based recreation and amenity.

Activities within each Precinct are managed through the Precincts Activity Table. Activities that are not provided for or that do not comply with the Precincts Activity Table become discretionary activities. A summary of the activities and related standards within each Precinct is detailed below.

All building within the Village Activity Area is a controlled activity, subject to complying with the CDP and standards. One of the matters of control is consistency with the Village Design Guidelines. The elements addressed within the CDP are:

- Land use precincts
- Building coverage and height restrictions
- Cycle trails and pedestrian paths
- Road hierarchy, passenger transport routes with bus stops, parking, bike parking, and EV changing stations
- Open space

Mixed-Use Precinct

Activities

The Mixed-use Precinct provides for the following as permitted activities:

- a) Residential Activity
- b) Visitor Accommodation, Residential Visitor Accommodation and Homestays
- c) Retirement Villages
- d) Retail Activities located at ground floor level within Mixed Use Precinct (M-1) to (M-6)
- e) Community Activities
- f) Commercial Activities
- g) Recreation amenities, playgrounds, landscaping, roads, vehicle access and parking, street furniture, EV charging stations, facilities in support of pedestrian and cycle trails and laneways, lighting, stormwater retention, and underground services

Any activity not provided for becomes a Discretionary activity

Standards

- a) The scale of commercial activity is restricted to a maximum net floor area of 200m²/ activity, with exemptions for:
 - Retailing within Mixed-Use Precinct (M-6)
 - The sale and consumption of food and beverages not exceeding 400m² of Public Area.
- b) Building Coverage is to be in accordance with the CDP site coverage plan – the range is between 40% to 60%
- c) Within Mixed Use Precincts (M-1) to (M-6) the ground floor of any building must have a minimum finished floor to ceiling height of 3.5m for a minimum depth of 7m in from the building's road frontage.
- d) Any building must provide a ground level pedestrian link or lane in the general location shown on the CDP
- e) Building cannot be undertaken as a Controlled activity anywhere within the Jacks Point Village V(JP) Activity Area until Village Design Guidelines have been registered on the relevant title
- f) Building height is limited to 12m generally, with any building above 12m and less than 15m provided for as a discretionary activity **only** in the Village central area provided it does not relate to any more than 20% of the building footprint. Building above 15m is non-complying.

Visitor Accommodation Precinct

Activities

The Visitor Accommodation precinct provides for the following as permitted activities:

- a) Residential Activity
- b) Visitor Accommodation, Residential Visitor Accommodation and Homestays
- c) Retirement Villages

- d) Commercial Activities limited to premises for the sale and consumption of food and beverages
- e) Recreation amenities, playgrounds, landscaping, roads, vehicle access and parking, street furniture, EV charging stations, facilities in support of pedestrian and cycle trails and laneways, lighting, stormwater retention, and underground services

Any activity not provided for becomes a Discretionary activity

Standards

- a) The scale of commercial activity is restricted to a maximum net floor area of 200m²/ activity, with an exemption for the sale and consumption of food and beverages not exceeding 400m² of Public Area.
- g) Building Coverage is to be in accordance with the CDP site coverage plan – the range is between 30% to 40%
- h) Any building must provide a ground level pedestrian link or lane in the general location shown on the CDP
- i) Building cannot be undertaken anywhere within the Jacks Point Village V(JP) Activity Area as a Controlled activity until Village Design Guidelines have been registered on the relevant title
- j) Building height is limited to 12m generally and 3 storeys

Residential Precinct

Activities

The Residential precinct provides for the following as permitted activities:

- a) Residential Activity
- b) Recreation amenities, playgrounds, landscaping, roads, vehicle access and parking, street furniture, EV charging stations, facilities in support of pedestrian and cycle trails and laneways, lighting, stormwater retention, and underground services

Retirement Villages are listed as a restricted discretionary activity

Any activity not provided for becomes a Discretionary activity

Standards

- a) Building Coverage is to be in accordance with the CDP plan – the range is between 30% to 40%
- b) Any building must provide a ground level pedestrian link or lane in the general location shown on the CDP
- c) Building cannot be undertaken anywhere within the Jacks Point Village V(JP) Activity Area until Village Design Guidelines have been registered on the relevant title
- d) Building height is limited to 12m generally and 3 storeys

Open Space Precinct

Activities

The Open Space precinct provides for the following as permitted activities:

- a) Recreation amenities, playgrounds, landscaping, roads, vehicle access and parking, street furniture, EV charging stations, facilities in support of pedestrian and cycle trails and laneways, lighting, stormwater retention, and underground services

Any activity not provided for becomes a Discretionary activity

41 Jacks Point

Please Note: Variations to parts of this chapter have been decided by Council on 7 March 2019 as part of Stage 2 of the PDP. You can view the Stage 2 Decisions, appeals and section 274 notices on our website. The appeal and section 274 periods for the Stage 1 and 2 Decisions have closed.

41.1 Zone Purpose

The purpose of the Jacks Point Zone is to provide for residential, rural living, commercial, community and visitor accommodation in a high quality sustainable environment comprising residential areas, two mixed use villages and a variety of recreation opportunities and community benefits including access to public open space and amenities.

The village areas and associated residential activities at Jacks Point will be sustainable in their nature, constituting mixed density development, best practice methods of waste disposal and longevity in their quality and built form. The preparation of development controls and non-regulatory design guidelines, in conjunction with provisions of the District Plan and other methods, will ensure provision for the social, economic and cultural wellbeing of the wider community, while also assisting in ecological enhancement and the seamless integration of the built and natural environment.

In addition, the zoning anticipates an 18-hole championship golf course, a luxury lodge, small-scale commercial activities, provision for community facilities, craft and winery activities, outdoor recreation and enhanced access to and enjoyment of Lake Wakatipu.

41.2 Objectives and Policies

41.2.1 Objective - The establishment of an integrated community, incorporating residential living, visitor accommodation, community, and small-scale commercial activities with appropriate regard for landscape and visual amenity values, and within a framework of open space and recreation amenities.

Policies

General - Zone Wide

- 41.2.1.1 Require activities to be located in accordance with the Structure Plan (41.7) to establish the spatial layout of development within the zone and diversity of living and complementary activities, taking into account:
- a. integration of activities;
 - b. landscape and amenity values;
 - c. road, open space and trail networks;
 - d. visibility from State Highway 6 and from Lake Wakatipu.
- 41.2.1.2 Provide public access from the State Highway to the lake foreshore and to facilitate increased use and enjoyment of the margin and waters of Lake Wakatipu.
- 41.2.1.3 Provide safe and efficient road access from State Highway 6.

- 41.2.1.4
 - a. Ensure subdivision and development incorporates the design elements shown on the Structure Plan, namely roads, road connections, open space, access connections and trails.
 - b. Ensure the efficient provision of servicing infrastructure, roading and vehicle access.
 - c. Ensure efficient provision of sewage disposal, water supply and refuse disposal services which do not adversely affect water quality or other environmental values.
- 41.2.1.5 Control the take-off and landing of aircraft within the zone.
- 41.2.1.6 Avoid industrial activities.
- 41.2.1.7 Maintain and protect views into the Jacks Point Zone of a predominantly rural and open character when viewed from the lake, and to maintain and protect views across the site to the mountain peaks beyond the lake when viewed from the State Highway.

Residential

- 41.2.1.8
 - a. Provide for a diversity of living accommodation, including opportunities for farm and rural living at low densities.
 - b. Provide for medium density and small lot housing subject to ensuring the scale and form of built development provides an appropriate standard of residential amenity and design.
- 41.2.1.9 Require that any conventional low density residential development in the Residential Hanley Downs (R(HD)) and Jacks Point (R(JP)) Activity Areas be offset by higher density residential development and common open spaces in order to achieve efficient use of land and infrastructure.
- 41.2.1.10 Maintain or enhance the character and amenity values that exist in the established Jacks Point Residential Activity Areas (R(JP)) as at 31 August 2016, including the high standard of design and landscape elements incorporated into communal open space areas, transport corridors and private lots, and lower average densities compared to the Hanley Downs Residential Activity Areas.
- 41.2.1.11 Enable medium density housing development within the established Jacks Point Residential Activity Areas (R(JP)) subject to the scale and form of built development being appropriate to the character of the Activity Area.
- 41.2.1.12 Recognise the (Hanley Downs) Residential Activity Areas (R(HD)) as being appropriate to accommodate residential development at a greater scale and intensity than elsewhere in the zone.
- 41.2.1.13 Apply residential development controls to protect privacy and amenity, provide access to sunlight, to achieve design cohesion, and to provide appropriate opportunities outdoor living, consistent with the residential density anticipated in that Activity Area.
- 41.2.1.14 Enable commercial activities on primary roads within the Hanley Downs Residential Activity Areas (R(HD)) of a scale limited to servicing the needs of the local community.
- 41.2.1.15 Provide for predominantly low density residential development in the Residential - State Highway Activity Areas ((R(HD-SH) and (R(JP-SH))), and appropriately mitigated through landscaping and the provision of open space.

- 41.2.1.16 Ensure that residential development in the Jacks Point Zone does not dominate views from the State Highway and that any adverse visual impacts are mitigated through landscaping, building design and provision of open space.

Villages and Education

- 41.2.1.17 a. Enable the Jacks Point Village Activity Area (V(JP)) to develop as the vibrant mixed use hub of the Jacks Point Zone, comprising a range of activities including:
- i. high and medium density residential housing;
 - ii. a small local shopping centre that services the needs of Jacks Point residents and provides for small scale destination shopping and office space;
 - iii. visitor accommodation;
 - iv. education facilities, community activities, healthcare, and commercial recreation activities;
 - v. technology and innovation-based business.
- b. Enable the Homestead Bay Village Activity Area (V(HB)) to develop as a secondary commercial and mixed use centre supporting aquatic activities and the needs of residential activity around Homestead Bay.
- 41.2.1.18 Enable commercial and community activities and visitor accommodation in the Jacks Point Village (V(JP)) and Homestead Bay Village (V(HB)) Activity Areas, provided residential amenity, health, and safety are protected or enhanced through:
- a. compatible hours of operation and noise;
 - b. a high standard of building design;
 - c. the location and provision of open space, buffers and setbacks;
 - d. appropriate landscape mitigation;
 - e. efficient design of vehicle access and car parking; and
 - f. an appropriate scale of activity, and form of building development.
- 41.2.1.19 Encourage high quality urban design throughout the ~~Jacks Point Village (V(JP)) and Homestead Bay Village (V(HB)) Activity Areas~~ by:
- a. requiring all subdivision and development to be in accordance with a Comprehensive Development Plan incorporated in the District Plan, which shall establish an integrated and coordinated layout of open space; built form; roading patterns; pedestrian, cycle access, and carparking; the land uses enabled within the buildings; streetscape design; design controls in relation to buildings and open space; and an appropriate legal mechanism to ensure their implementation;
 - b. requiring the street and block layouts and the bulk, location, and design of buildings to minimise the shading of public spaces and to avoid the creation of wind tunnels;
 - c. encouraging generous ground floor ceiling heights for commercial buildings that are relatively consistent with others in the village; and
 - d. encouraging the incorporation of parapets, corner features for landmark sites, and other design elements in order to achieve a positive design outcome and providing for

a 3 storey building height in the Jacks Point Village Activity Area and 2 storey commercial building height in the Homestead Bay Village Activity Area.

~~41.2.1.20 Enable the development of education and associated activities and day care facilities within the Education Activity (E) Area, subject to achieving a high standard of urban design. Encouraging high quality urban design throughout the Jacks Point Village V(JP) Activity Area through the implementation of the Comprehensive Development Plan, that:~~

- ~~a. Facilitates access to and development of generous areas of communal open space along the western side of Lake Tewa~~
- ~~e. Ensures an integrated and coordinated layout of open space; built form; roading patterns; pedestrian, cycle access, and carparking; the land uses enabled within the buildings; streetscape design; design controls in relation to buildings and open space~~
- ~~b.~~
- ~~c. Ensures that built development is of a high quality with a consistent design approach to the development of private and public realm areas through the preparation and implementation of Jacks Point Village Design Guidelines~~
- ~~d. Ensures high levels of amenity for cyclists and pedestrians through the creation of laneway and public access links~~
- ~~e. Ensures pedestrian and cycle networks are integrated with building and streetscape design and facilitate access to any dedicated facilities for parking, passenger transport and surrounding activity areas~~
- ~~f. Ensures there is flexibility in building design within the commercial precinct to accommodate retailing at ground floor level through generous floor to ceiling heights~~

~~41.2.1.21 The use and development of land within the identified precincts maintains high standards of amenity and the built form outcomes necessary to accommodate the range of activities anticipated for each precinct.~~

Open Space

~~41.2.1.20~~ 41.2.1.22 Recognise the important contribution that the open space areas that adjoin the residential and village areas make to the identity, character, amenity, and outlook of the Jacks Point Zone for residents and visitors.

~~41.2.1.21~~ 41.2.1.23 Avoid all buildings in the Open Space Golf (OSG) and Open Space Residential Amenity (OSA) Activity Areas other than ancillary small scale recreational buildings on the same site as the activity it is ancillary to, and that are of a design that is sympathetic to the landscape.

~~41.2.1.22~~ 41.2.1.24 Provide for farming and associated activities, while ensuring that the scale of building and other development associated with those activities does not result in over-domestication of the landscape.

~~41.2.1.23~~ 41.2.1.25 Enable mining activities within the Open Space Golf (OSG) Activity Area for the development of the Jacks Point Zone provided the adverse environmental effects of the activity are managed.

~~41.2.1.24~~ 41.2.1.26 Provide for local biodiversity through:

- a. the protection and enhancement of existing ecological values, in a holistic manner;
- b. reduction in grazing around wetland areas; and
- c. the provision of links between grey shrublands, wetlands and the lakeshore escarpment, including indigenous vegetation links between Activity Areas where appropriate.

~~41.2.1.25~~41.2.1.27 Ensure that development within the ecologically sensitive areas of the zone results in a net environmental gain.

~~41.2.1.26~~41.2.1.28 Ensure that subdivision, development and ancillary activities within the Tablelands Landscape Protection Area maintain the character of the landscape.

~~41.2.1.27~~41.2.1.29 Ensure substantial native revegetation of the gully within the Open Space Foreshore (OSF) Activity Area within Homestead Bay and the Homesite (HS) Activity Areas.

~~41.2.1.28~~41.2.1.30 Encourage native planting of the Open Space Activity Areas (OSF, OSL and OSG).

~~41.2.1.29~~41.2.1.31 Provide for the development of lakeside activities and low density residential development in the Homestead Bay area, in a manner which complements and enhances amenity values.

Lodge

~~41.2.1.30~~41.2.1.32 To provide for visitor accommodation and ancillary facilities within the Lodge (L) Activity Areas in a manner that does not adversely affect the open character and amenity of the surrounding Open Space Golf (OSG) Activity Areas.

41.3 Other Provisions and Rules

41.3.1 District Wide

Attention is drawn to the following District Wide chapters.

1 Introduction	2 Definitions	3 Strategic Direction
4 Urban Development	5 Tangata Whenua	6 Landscapes and Rural Character
25 Earthworks	26 Historic Heritage	27 Subdivision
28 Natural Hazards	29 Transport	30 Energy and Utilities
31 Signs	32 Protected Trees	33 Indigenous Vegetation
34 Wilding Exotic Trees	35 Temporary Activities and Relocated Buildings	36 Noise
37 Designations	Planning Maps	

41.3.2 Interpreting and Applying the Rules

41.3.2.1 Any activity which is not provided for within the list of activities below or which is not provided a specific activity status through any other rule within Rule 41.4 Tables 1 - 5 'Activities located in Jacks Point Zone' shall be a discretionary activity.

41.3.2.2 The existence of a farm building either permitted or approved by resource consent under Rule 41.5.4.10 shall not be considered the permitted baseline for residential or other non-farming activity development within the Open Space Activity Areas of the Jacks Point Zone.

41.3.2.3 Where provisions refer to the Structure Plan, this shall be taken to mean the Structure Plan contained in Rule 41.7 and Rule 41.4 (Rules – Activities) and Rule 41.5 (Standards for Activities). References to the Structure Plan and to Activity Areas are references to the Jacks Point Zone Structure Plan and the Activity Areas identified on that Structure Plan.

41.3.2.4 A permitted activity must comply with all the rules listed in the Activity and Standards tables, and any relevant district wide rules.

41.3.2.5 Where an activity does not comply with a Standard in Rule 41.5 the Activity Status identified by the Non-Compliance Status column shall apply. Where an activity breaches more than one Standard, the most restrictive status shall apply to the Activity.

41.3.2.6 The following abbreviations are used within this Chapter.

P	Permitted	C	Controlled	RD	Restricted Discretionary
D	Discretionary	NC	Non-Complying	PR	Prohibited

41.3.2.7 Rule 33.5.2 does not apply within the Jacks Point Zone.

41.4 Rules – Activities

Table 1	Activities Located in the Jacks Point Zone	Activity Status
41.4.1	Residential Activity (R) Areas and the Rural Living Activity Area	
	Residential Activities Areas (R)	P
	41.4.1.1 Residential activities – all Residential Activities Areas unless specified otherwise.	
	Residential State Highway Activity Areas R(SH)	P
	41.4.1.2 Residential activities and works for the visual mitigation of the effects of development as viewed from the State Highway	
	Rural Living (RL) Activity Area	C
	41.4.1.3 Residential activities. Control is reserved to: a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; b. the adequacy of infrastructure and servicing; c. the effects of associated earthworks and landscaping; d. access and parking provision;	

Table 1	Activities Located in the Jacks Point Zone	Activity Status
	<ul style="list-style-type: none"> e. the bulk and location of buildings; f. the effects of exterior lighting. 	
	<p>Residential R(HD) Activity Areas</p> <p>41.4.1.4 Educational and Day Care Facilities.</p> <p>Control is reserved to:</p> <ul style="list-style-type: none"> a. the location and external appearance of buildings; b. setback from roads; c. setback from internal boundaries; d. traffic generation, access and parking; e. provision of outdoor space; f. street scene including landscaping; g. provision for walkways, cycle ways and pedestrian linkages; h. potential noise impacts; i. infrastructure and servicing, including traffic effects. 	C
	<p>41.4.1.5 Residential Activity Areas R(HD) A – E, R(HD-SH) 1, and R(HD-SH)-3</p> <p>Any residential activity which results in either:</p> <p>three or more attached residential units; or</p> <ul style="list-style-type: none"> a. density of more than one residential unit per 380 m² of net site area. <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. external appearance; b. access and car parking; c. traffic generation effects; d. associated earthworks; e. landscaping; f. effects on adjacent sites that are not part of the medium density residential development being applied for; g. bulk and location; h. legal mechanisms proposed in relation to building bulk and location. 	RD

Table 1	Activities Located in the Jacks Point Zone	Activity Status
	Except that this rule shall not apply to residential units located on sites smaller than 380m ² created pursuant to subdivision rule 27.7.5.2.	
	<p>Residential R(JP) 1 - 3 and R(JP-SH) 4 Activity Areas</p> <p>41.4.1.6 Any residential activity which results in either:</p> <p>three or more attached residential units; or:</p> <p>a. density of more than one residential unit per 380 m² of net site area.</p> <p>Discretion is restricted to:</p> <p>a. external appearance;</p> <p>a. residential amenity values;</p> <p>b. access and car parking;</p> <p>c. associated earthworks.;</p> <p>d. landscaping;</p> <p>e. effects on adjacent sites that are not part of a medium density residential development subject to the application;</p> <p>f. bulk and location;</p> <p>g. legal mechanisms proposed in relation to building bulk and location.</p>	RD
	<p>Residential R(HD)A - D and R(SH-HD)1 - 3 Activity Areas</p> <p>41.4.1.7 Commercial activities and Community activities including the addition, alteration or construction of associated buildings.</p> <p>Discretion is restricted to:</p> <p>a. location, scale and external appearance of buildings;</p> <p>b. setback from roads;</p> <p>c. setback from internal boundaries;</p> <p>d. vehicle access, street layout and car parking;</p> <p>e. street scene including landscaping;</p> <p>f. enhancement of ecological and natural values;</p> <p>g. provision for walkways, cycle ways and pedestrian linkages;</p> <p>h. scale of the activity;</p> <p>i. noise;</p>	RD

Table 1	Activities Located in the Jacks Point Zone	Activity Status
	<p>j. hours of operation.</p> <p>Except that this rule shall not apply to:</p> <p>a. a single residential unit on any site contained within a separate computer freehold register;</p> <p>b. residential units located on sites smaller than 380 m² created pursuant to subdivision rules 27.5.5 or 27.7.5.2.</p>	
	<p>Residential R(HD)- E Activity Area</p> <p>41.4.1.8 Commercial activities, community activities, and visitor accommodation including the addition, alteration or construction of associated buildings.</p> <p>Discretion is restricted to:</p> <p>a. location, scale and external appearance of buildings;</p> <p>b. setback from roads;</p> <p>c. setback from internal boundaries;</p> <p>d. traffic generation;</p> <p>e. vehicle access, street layout and car parking;</p> <p>f. street scene including landscaping;</p> <p>g. enhancement of ecological and natural values;</p> <p>h. provision for walkways, cycle ways and pedestrian linkages;</p> <p>i. scale of the activity;</p> <p>j. noise;</p> <p>k. hours of operation.</p>	RD
	<p>All Residential (R) Activity Areas and Rural Living (RL) Activity Area</p> <p>41.4.1.9 Residential Visitor Accommodation and Homestays</p>	P

Table 2	Activities Located in the Jacks Point Zone – Village and Education Activity Areas	Activity Status
41.4.2	Village and Education (V),(JP) and; V(HB) and (E) Activity Areas	
	<p>Village Activity (V) and-V(HB) Activity Area</p> <p>41.4.2.1 Any commercial, community, residential, residential visitor accommodation, homestay, or visitor accommodation activity within the Jacks Point (V) or Homestead Bay (HB) Village Activity Areas, including the addition, alteration or construction of associated buildings, provided the application is in accordance with a</p>	C

Table 2	Activities Located in the Jacks Point Zone – Village and Education Activity Areas	Activity Status										
	<p>Comprehensive Development Plan incorporated in the District Plan, which applies to the whole of the relevant Village Activity Area and is sufficiently detailed to enable the matters of control listed below to be fully considered.</p> <p>Control is reserved to:</p> <ol style="list-style-type: none"> the layout and orientation of built form, open spaces, roading pattern, car parking, and pedestrian and cycle access; the bulk, location and external appearance of buildings and associated including the creation of active frontages adjacent to roads and public spaces; the density and location of any proposed residential activity; the location of any proposed commercial and community activity; landscaping; streetscape design; the formulation of design controls in relation to buildings, open space, and streetscapes and an appropriate legal mechanism to ensure their implementation; the adequate provision of storage and loading/ servicing areas; traffic effects. 											
	<p>Village V(JP) Activity Area – Activities</p> <p>Interpretation of Activity Rules for precincts</p> <p>41.4.2.2 Within any of the precincts (overlays) identified within the Village V(JP) Activity Area Comprehensive Development Plan (Refer Figure 2), activities shall have the status as shown within the Activity Table below. The provisions in the Jacks Point Zone and District-Wide provisions apply unless otherwise specified within the Precincts Activity table below where an activity has the status show in each cell.</p> <p>41.4.2.3 For any area of the Village V(JP) Activity Area not identified within a precinct the rules for the Open Space Precinct shall apply.</p> <p>41.4.2.4 Council discretion for Retirement Villages is restricted to effects on residential amenity values, urban design and effects on the local road network.</p> <p>Precincts Activity Table</p> <table border="1" data-bbox="300 1883 1294 2049"> <thead> <tr> <th data-bbox="300 1883 663 1995">Activity</th> <th data-bbox="663 1883 804 1995">Mixed Use Precinct</th> <th data-bbox="804 1883 994 1995">Visitor Accommodation Precinct</th> <th data-bbox="994 1883 1126 1995">Residential Precinct</th> <th data-bbox="1126 1883 1294 1995">Open Space Precinct</th> </tr> </thead> <tbody> <tr> <td data-bbox="300 1995 663 2049">Residential Activity</td> <td data-bbox="663 1995 804 2049">P</td> <td data-bbox="804 1995 994 2049">P</td> <td data-bbox="994 1995 1126 2049">P</td> <td data-bbox="1126 1995 1294 2049">D</td> </tr> </tbody> </table>	Activity	Mixed Use Precinct	Visitor Accommodation Precinct	Residential Precinct	Open Space Precinct	Residential Activity	P	P	P	D	
Activity	Mixed Use Precinct	Visitor Accommodation Precinct	Residential Precinct	Open Space Precinct								
Residential Activity	P	P	P	D								

PART 6

JACKS POINT 41

Table 2	Activities Located in the Jacks Point Zone – Village and Education Activity Areas				Activity Status	
	Retail Activities located at ground floor level within Mixed Use Precinct (M-1) to (M-6)	<u>P</u>	<u>D</u>	<u>D</u>	<u>D</u>	
	Retail Activities outside of Mixed Use Precinct (M-1) to (M-6)	<u>D</u>	<u>D</u>	<u>D</u>	<u>D</u>	
	Visitor Accommodation, Residential Visitor Accommodation and Homestays	<u>P</u>	<u>P</u>	<u>D</u>	<u>D</u>	
	Retirement Village	<u>P</u>	<u>P</u>	<u>RD</u> (Refer 41.4.2.4)	<u>D</u>	
	Community Activities	<u>P</u>	<u>D</u>	<u>D</u>	<u>D</u>	
	Commercial Activities	<u>P</u>	<u>D</u>	<u>D</u>	<u>D</u>	
	Commercial Activities limited to premises for the sale and consumption of food and beverages	<u>P</u>	<u>P</u>	<u>D</u>	<u>D</u>	
	Recreation amenities, playgrounds, landscaping, roads, vehicle access and parking, street furniture, EV charging stations, facilities in support of pedestrian and cycle trails and laneways, lighting, stormwater retention, and underground services	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	
	<p>Village V(JP) Activity Area - Building</p> <p>41.4.2.5 The addition, alteration or construction of associated buildings, provided the application is in accordance with the Comprehensive Development Plan (Figure 2).</p> <p>Control is reserved to:</p> <ol style="list-style-type: none"> a. Consistency with the Jacks Point Village Design Guidelines b. How the layout, orientation and design of built form responds to the Comprehensive Development Plan elements, including open space, streetscape design, pedestrian and cycle access; c. The bulk, location and external appearance of buildings including the creation of active frontages adjacent to roads and public spaces; d. Pedestrian and cycle access, including linkages to passenger transport, open spaces and surrounding activity areas e. -The provision of storage and loading/servicing areas; and f. Integration of vehicle access and parking onto the surrounding road network. 				<u>C</u>	
	Education (E) Activity Area				<u>E</u>	

Table 2	Activities Located in the Jacks Point Zone – Village and Education Activity Areas	Activity Status
	<p>41.4.2.2 Educational and Day Care Facilities.</p> <p>Control is reserved to:</p> <p>a. location and external appearance of buildings;</p> <p>b. setback from roads;</p> <p>c. setback from internal boundaries;</p> <p>d. provision of outdoor space;</p> <p>e. street scene including landscaping;</p> <p>f. provision for walkways, cycle ways and pedestrian linkages;</p> <p>g. noise;</p> <p>h.g. infrastructure and servicing, including traffic effects.</p>	

Table 3	Activities Located in the Jacks Point Zone – Lodge Activity Area	Activity Status
41.4.3	Lodge (L) Activity Areas – L(1), L(2) and L(P)	
	<p>Lodge Activity Areas (L)(1) and L(2)</p> <p>41.4.3.1 Visitor accommodation activities, restaurants, and conference facilities.</p> <p>Lodge Activity Area (L)(P)</p> <p>41.4.3.2 Parking associated with visitor accommodation activities, restaurants and conference facilities undertaken within L(1) and L(2).</p>	P
	<p>Buildings</p> <p>41.4.3.3 Buildings (including the addition, alteration or construction of buildings).</p> <p>Discretion is restricted to:</p> <p>a. the external appearance of buildings with respect to the effect on visual and landscape values of the area;</p> <p>b. infrastructure and servicing;</p> <p>c. associated earthworks and landscaping;</p> <p>d. access and parking;</p> <p>e. bulk and location;</p> <p>f. exterior lighting.</p>	RD
	41.4.3.4 Any tennis court (including fencing) located within Lodge Area 2, and any outdoor swimming pool (including fencing) located within any	C

Table 3	Activities Located in the Jacks Point Zone – Lodge Activity Area	Activity Status
	<p>Lodge Area (except spa pools less than 9m² and located within any Lodge Activity Area) provided:</p> <ul style="list-style-type: none"> i. the tennis court surfaces are either dark green or grey in colour; and ii. any tennis court fencing is chain mesh or similar, and grey in colour. <p>Control is reserved to:</p> <ul style="list-style-type: none"> a. associated earthworks and landscaping; b. colour; c. fencing, including any glare resulting from the location and orientation of glass pool fencing. 	
41.4.3.5	Any tennis court (including fencing) located within Lodge Area 2 and any outdoor swimming pool (including fencing) located within any Lodge Area that does not comply with Rule 41.4.3.4(i) and (ii), with discretion restricted to those matters listed in Rule 41.4.3.4 (a) - (c).	RD
41.4.3.6	Except as provided for in Rules 41.4.3.4 and 41.4.3.5, any outdoor tennis court located within the Lodge Activity Areas.	NC

Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
41.4.4	Open Space (OS) and Homesite (HS) Activity Areas	
41.4.4.1	<p>Open Space Golf (OSG) Activity Area</p> <p>Indigenous revegetation and outdoor recreation activities, including the development and operation of golf courses, associated earthworks, green keeping, driving range, administrative offices associated with golf, sales, and commercial instruction.</p>	P
41.4.4.2	<p>Open Space Golf (OSG) Activity Area, except within the Lake Shore Landscape Protection Area</p> <p>Any administrative offices and buildings ancillary to outdoor recreation activities.</p> <p>Control is reserved to:</p> <ul style="list-style-type: none"> a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; b. the adequacy of Infrastructure and servicing; c. the effects of associated earthworks and landscaping; 	C

Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
	<ul style="list-style-type: none"> d. access and parking provision; e. the bulk and location of buildings; f. the effects of exterior lighting. 	
	<p>Open Space Golf (OSG) Activity Area</p> <p>41.4.4.3 Any buildings within a Landscape Protection Area, or any buildings other than administrative offices and buildings ancillary to outdoor recreation activity; and any activities other than those specified under Rules 41.4.4.2 and 41.4.4.4.</p>	D
	<p>Open Space Golf (OSG) Activity Area</p> <p>41.4.4.4 The mining of rock and aggregate and/or gravel for use anywhere within the Jacks Point Zone.</p>	D
	<p>Open Space Landscape (OSL) Activity Area</p> <p>41.4.4.5 Pastoral and arable farming, endemic revegetation, and pedestrian and cycle trails.</p>	P
	<p>Open Space Landscape (OSL) (Highway Buffer) Activity Area</p> <p>41.4.4.6 Sheep farming, endemic revegetation, and pedestrian and cycle trails.</p>	P
	<p>Open Space Landscape (OSL) Activity Area</p> <p>41.4.4.7</p> <ul style="list-style-type: none"> a. Any building within a Landscape Protection Area; b. Any building other than a building ancillary to farming activity. 	D
	<p>Any farm building other than within a Landscape Protection Area.</p> <p>41.4.4.8 Control is reserved to:</p> <ul style="list-style-type: none"> a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; b. the adequacy of Infrastructure and servicing; c. the effects of associated earthworks and landscaping; d. access and parking provision; e. the bulk and location of buildings; f. the effects of exterior lighting. 	C
	<p>Open Space Residential Amenity (OSA) Activity Area</p> <p>41.4.4.9 Recreation amenities, playgrounds, landscaping, pedestrian and cycle trails, lighting, stormwater retention, and underground services.</p>	P

Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
	<p>Open Space Residential Amenity (OSA) Activity Area</p> <p>41.4.4.10 Any buildings ancillary to outdoor recreation activity.</p> <p>Control is reserved to:</p> <ol style="list-style-type: none"> a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; b. the adequacy of Infrastructure and servicing; c. the effects of associated earthworks and landscaping; d. access and parking provision; e. the bulk and location of buildings; f. the effects of exterior lighting. 	C
	<p>Open Space Residential Amenity (OSA) Activity Area</p> <p>41.4.4.11 Any building other than those ancillary to outdoor recreation activity.</p>	D
	<p>Open Space – Horticultural (OSH) Activity Area</p> <p>41.4.4.12 Horticultural activities and accessory buildings and activities, and residential activities.</p>	D
	<p>Open Space – Residential (OSR) Activity Areas</p> <p>41.4.4.13 OSR South</p> <p> No more than 39 residential units.</p> <p>41.4.4.14 OSR North</p> <p> No more than 10 residential units.</p>	D
	<p>Open Space Boating Facilities Activity Area OS (BFA)</p> <p>41.4.4.15 A double boat ramp, jetty, a weather protection feature or breakwater, a boat shed and associated boat/trailer/car parking and public facilities, provided that all facilities are available for public use.</p> <p>Discretion is restricted to:</p> <ol style="list-style-type: none"> a. effects on natural character; b. effects on landscape and amenity values; c. effects on public access to and along the lake margin; d. external appearance, colours and materials; e. location. 	RD
	Open Space Wetland (OSW) Activity Area	

Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
	<p>41.4.4.16 Structures restricted to those necessary to develop pedestrian access (e.g. boardwalks), fences, or other structures relating to the protection and enhancement of biodiversity and ecological values.</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. bulk and location; b. lighting; c. biodiversity values (temporary during construction and long term); d. external appearance (including colour and materials); e. amenity values; f. stormwater disposal; and g. landscaping in relation to any structures. 	RD
	<p>Homesite (HS) Activity Area</p> <p>41.4.4.17 No more than one residential building located within a Homesite (HS) Activity Area.</p> <p>Control is reserved to:</p> <ul style="list-style-type: none"> a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; b. infrastructure and servicing; c. associated earthworks and landscaping; d. access and parking; e. bulk and location; f. exterior lighting; g. the protection and enhancement of the wetland areas adjacent to the Homesite (HS) Activity Area; h. the implementation and maintenance of the comprehensive vegetation plan. 	C
	<p>41.4.4.18 Any tennis court (including fencing) and any outdoor swimming pool (including fencing) located within a Homesite Area (except spa pools less than 9m²) provided:</p> <ul style="list-style-type: none"> i. the tennis court surfaces are either dark green or grey in colour; and ii. any tennis court fencing is chain mesh or similar, and grey in colour. 	C

Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
	Control is reserved to: <ul style="list-style-type: none"> a. associated earthworks and landscaping; b. colour; c. fencing, including any glare resulting from the location and orientation of glass pool fencing. 	
	41.4.4.19 Any tennis court (including fencing) and any outdoor swimming pool (including fencing) located in a Homesite Area that does not comply with Rule 41.4.4.18(i) and (ii), with discretion restricted to those matters listed in Rule 41.4.4.18 (a) - (c).	RD
	41.4.4.20 Except as provided for in Rules 44.4.4.18 and 44.4.4.19, any outdoor tennis court located within a Homesite Area or the Tablelands Landscape Protection Area.	NC
	Open Space Foreshore (OSF) Activity Area 41.4.4.21 The regeneration of native endemic species and retention of open space	P

Table 5	Activities Located in the Jacks Point Zone – Zone Wide Activities	Activity Status
41.4.5	Jacks Point Zone – Zone Wide Rules	
	41.4.5.1 Sale of Liquor Premises licensed for the sale of liquor (including both off-licenses and on- licenses). Except this rule does not apply within the Mixed-Use and Visitor Accommodation precincts of the Village V(JP) Activity Area Comprehensive Development Plan. Discretion is restricted to: <ul style="list-style-type: none"> a. location; b. scale of the activity; c. residential amenity values; d. noise; e. hours of operation; f. car parking and vehicle generation. 	RD
	41.4.5.2 State Highway Mitigation Mitigation works undertaken within the location shown on the Structure Plan. Control is reserved to:	C

Table 5	Activities Located in the Jacks Point Zone – Zone Wide Activities	Activity Status
	<ul style="list-style-type: none"> a. the creation of a comprehensively designed landscape edge to the northern part of the zone within the OSA and R (HD – SH) 1 Activity Areas; b. mitigation of the visual impacts of potential buildings when viewed from State Highway 6 through earth contouring and vegetation (at maturity), within Activity Areas R(HD-SH) – 1 and R(HD-SH)- 2 and RHD-SH) 3; c. maintaining views across the zone to the mountains located against the western shores of Lake Wakatipu; d. appropriate plant species, height at planting and at maturity; and e. provision for on-going maintenance and ownership. 	
41.4.5.3	<p>Aircraft</p> <ul style="list-style-type: none"> a. Emergency landings, rescues, firefighting and activities ancillary to farming activities; b. Informal Airports limited to the use of helicopters. c. The establishment and operation of Airport Activity or Aerodrome other than those allowed by Rules 41.4.5.3(a) and 41.4.5.3(b), including Informal Airports used by fixed wing aircraft. 	<p>P</p> <p>D</p> <p>NC</p>
41.4.5.4	Factory Farming	NC
41.4.5.5	<p>Forestry activity, including plantation forestry within an OSL or ONL.</p> <p>For any Plantation Forestry outside an OSL or ONL the Resource Management (Resource Management (National Environmental Standard for Plantation Forestry) Regulation 2017 shall prevail.</p> <p>All forestry activities, excluding harvesting of forestry which existed as at 31 August 2016.</p>	NC
41.4.5.6	<p>Mining Activities</p> <p>With the exception of the mining of rock and/or aggregate and/or gravel provided for by Rule 41.4.4.4.</p>	NC
41.4.5.7	Industrial Activities	NC
41.4.5.8	Landfill	NC
41.4.5.9	Panelbeating, spraypainting, motor vehicle, repair or dismantling fibreglassing, sheet metal work, bottle or scrap storage, motorbody building, fish or meat processing.	PR
41.4.5.10	Any activity requiring an Offensive Trade Licence under the Health Act 1956.	PR

41.5 Rules - Activity Standards

Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status																																				
41.5.1	Residential Activity Area																																					
	<p>Density</p> <p>41.5.1.1 The average density of residential units within each of the Residential Activity Areas shall be as follows:</p> <table data-bbox="446 616 829 1254"> <tr><td>R(JP) – 1</td><td>13 – 19 per Ha</td></tr> <tr><td>R(JP) – 2A</td><td>14 – 33 per Ha</td></tr> <tr><td>R(JP) – 2B</td><td>14 – 15 per Ha</td></tr> <tr><td>R(JP) – 3</td><td>14 per Ha</td></tr> <tr><td>R(JP-SH) – 1</td><td>10 per Ha</td></tr> <tr><td>R(JP-SH) – 2</td><td>9 per Ha</td></tr> <tr><td>R(JP-SH) – 3</td><td>5 – 27 per Ha</td></tr> <tr><td>R(JP-SH) – 4</td><td>5 – 12 per Ha</td></tr> <tr><td>R(HD-SH) – 1</td><td>12 – 22 per Ha</td></tr> <tr><td>R(HD-SH) – 2</td><td>2 – 10 per Ha</td></tr> <tr><td>R(HD-SH) – 3</td><td>12-22 per Ha</td></tr> <tr><td>R(HD) – A</td><td>17 – 26 per Ha</td></tr> <tr><td>R(HD) – B</td><td>17 – 26 per Ha</td></tr> <tr><td>R(HD) – C</td><td>15 -22 per Ha</td></tr> <tr><td>R(HD) – D</td><td>17 – 26 per Ha</td></tr> <tr><td>R(HD) – E</td><td>25 – 45 per Ha</td></tr> <tr><td>R(HD) – F</td><td>2 – 10 per Ha</td></tr> <tr><td>RL – 1, 2, 3</td><td>2 per Ha</td></tr> </table> <p>Density shall be calculated on the net area of land available for development and excludes land vested or held as reserve, open space, public access routes or roading and excludes sites used for non-residential activities. Within the Residential Areas of Hanley Downs, if part of an Activity Area is to be developed or subdivided, compliance must be achieved within that part and measured cumulatively with any preceding subdivision or development which has occurred with that Activity Area. Within the Jacks Point Residential Activity Areas, density shall be calculated and applied to the net area of land across the whole Activity Area, as defined in 41.5.1.1 above.</p>	R(JP) – 1	13 – 19 per Ha	R(JP) – 2A	14 – 33 per Ha	R(JP) – 2B	14 – 15 per Ha	R(JP) – 3	14 per Ha	R(JP-SH) – 1	10 per Ha	R(JP-SH) – 2	9 per Ha	R(JP-SH) – 3	5 – 27 per Ha	R(JP-SH) – 4	5 – 12 per Ha	R(HD-SH) – 1	12 – 22 per Ha	R(HD-SH) – 2	2 – 10 per Ha	R(HD-SH) – 3	12-22 per Ha	R(HD) – A	17 – 26 per Ha	R(HD) – B	17 – 26 per Ha	R(HD) – C	15 -22 per Ha	R(HD) – D	17 – 26 per Ha	R(HD) – E	25 – 45 per Ha	R(HD) – F	2 – 10 per Ha	RL – 1, 2, 3	2 per Ha	<p>RD</p> <p>Discretion is restricted to:</p> <ol style="list-style-type: none"> residential amenity values; traffic, access, parking; adequacy of infrastructure.
R(JP) – 1	13 – 19 per Ha																																					
R(JP) – 2A	14 – 33 per Ha																																					
R(JP) – 2B	14 – 15 per Ha																																					
R(JP) – 3	14 per Ha																																					
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R(JP-SH) – 2	9 per Ha																																					
R(JP-SH) – 3	5 – 27 per Ha																																					
R(JP-SH) – 4	5 – 12 per Ha																																					
R(HD-SH) – 1	12 – 22 per Ha																																					
R(HD-SH) – 2	2 – 10 per Ha																																					
R(HD-SH) – 3	12-22 per Ha																																					
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R(HD) – E	25 – 45 per Ha																																					
R(HD) – F	2 – 10 per Ha																																					
RL – 1, 2, 3	2 per Ha																																					
	<p>41.5.1.2 Building Height</p> <p>The maximum height of buildings shall be:</p> <ol style="list-style-type: none"> Residential (R) Activity Areas 8m Rural Living Activity Areas 5m All other buildings and structures 4m 	NC																																				
	41.5.1.3 Notwithstanding Rule 41.5.1.2, where	RD																																				

Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<p>a. any medium density residential housing development has been consented under Rules 41.4.1.5 or 41.4.1.6; or</p> <p>b. on sites smaller than 380m² created by subdivision;</p> <p>The maximum height of buildings may exceed the maximum height stated in Rule 41.5.1.2, up to a maximum of 3 storeys or 10m (whichever is lesser).</p>	<p>Discretion is restricted to:</p> <p>a. visual dominance;</p> <p>b. external appearance;</p> <p>c. the scale and extent of building portions that exceed three stories or 10m.</p>
	<p>41.5.1.4 Recession Planes (applicable to flat sites only)</p> <p>Within the R(HD) and R(HD-SH) Activity Areas: In addition to the maximum height of buildings specified under Rule 41.5.1.2, buildings shall comply with the following recession plane requirements:</p> <p>a. No part of any building shall protrude through the following recession lines inclined towards the site at:</p> <ol style="list-style-type: none"> i. Northern Boundary: 55 degrees; ii. Western and Eastern Boundaries: 45 degrees; iii. Southern Boundaries: 35 degrees; <p>Commencing at:</p> <ol style="list-style-type: none"> iv. 3.5m above ground level at any given point along any internal site boundary up to a distance of 12m from a rear internal boundary; and v. 2.5m above ground level at any given point along any internal site boundary within 12m of a rear internal boundary or any internal site boundary of a rear site; <p>Except that within the Residential Hanley Downs (R (HD)) Activity areas, this rule shall not apply to:</p> <ol style="list-style-type: none"> i. Sites smaller than 380m² created by subdivision; ii. A medium density residential development consented under Rule 41.4.1.5; <p>b. In addition to a. above and notwithstanding the height limit of accessory buildings imposed by Rule 41.5.18(i), the maximum height of any part of a building located within 2m of an internal boundary is 4m.</p> <p>c. Application of recession line rules – clarification:</p> <ol style="list-style-type: none"> i. Gable end roofs may penetrate the building recession plane by no more than one third of the gable height; <p>d. A recession line restriction shall not apply to accessory buildings nor common walls shared at a boundary and parts of buildings that do not extend beyond the length of that wall.</p> <p>Advice Notes:</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ol style="list-style-type: none"> a. privacy effects; b. access to sunlight and the impacts of shading; c. effects upon access to views of significance; d. visual dominance and external appearance.

Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<p>Refer to Definitions for detail of the interpretation of recession planes, rear sites, and flat sites.</p> <p>For corner sites, being sites that have a frontage to more than one road, the shortest internal site boundary shall be considered the rear internal boundary.</p>	
41.5.1.5	<p>Window Sill Heights</p> <p>Within the R(HD) and the R(HD-SH) Activity Areas, window sill heights above the first storey shall not be set lower than 1.5m above the floor level where the external face of the window is within 4m of an internal site boundary, except where buildings face reserves or where opaque glass is used for windows.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. privacy effects.</p>
41.5.1.6	<p>Building Coverage</p> <p>a. on any site within the R(JP), R(JP-SH) Activity Areas, buildings shall not exceed a maximum site coverage of 45%; and</p> <p>b. (on any site within the R(HD) and R(HD-SH) Activity Areas, buildings shall not exceed a maximum site coverage of 50%.</p> <p>Except that:</p> <p>Residential activity in the R(JP), R(JP-SH), R(HD), and R(HD-SH) Activity Areas consented under Rule 41.4.6 (medium density residential development) or under Rule 27.7.5.2 or 27.5.5, shall not exceed a maximum site coverage of 60%.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. urban design;</p> <p>b. effects on amenity values for neighbours;</p> <p>c. the character of the Activity Area;</p> <p>d. stormwater management.</p>
41.5.1.7	<p>Building Setbacks (except in the Residential Hanley Downs area)</p> <p>Buildings for all activities, except for buildings located on sites created pursuant to subdivision Rules 27.5.17, shall be subject to the following minimum setback rules:</p> <p>a. two setbacks of 4.5m, with all remaining setbacks of 2m; or</p> <p>b. one setback of 6m, one setback of 3.5m and all other setbacks of 2m;</p> <p>Except that:</p> <p>i. any residential unit may encroach into a setback by up to 1m for an area no greater than 6m² provided the component of the building infringing the setback has no windows or openings;</p> <p>ii. accessory buildings for residential activities, including garages, may encroach into the setback where they are no more than 3.5m in height and where no windows or openings are orientated toward an internal boundary;</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. bulk, height and proximity of the building façade to the boundary;</p> <p>b. the impact on neighbours' amenity values;</p> <p>c. loss of daylight;</p> <p>d. access to sunlight.</p>

Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<ul style="list-style-type: none"> iii. no setbacks are required when buildings share a common wall at the boundary. 	
	<p>41.5.1.8</p> <ul style="list-style-type: none"> a. In the Residential (Hanley Downs) Activity Areas, buildings for all activities, except for buildings located on sites smaller than 380m² and created pursuant to subdivision Rule 27.7.5.2, shall be subject to the following minimum setback rules: <ul style="list-style-type: none"> i. one internal setback of 3m; ii. a road set back of at least 3m, provided that any garage is set back at least 4.5m from the road boundary; iii. for sites fronting a single road and with a frontage exceeding 12.5m, one internal setback of 1.5m from an internal boundary that intersects with a road boundary; and iv. all remaining internal setbacks of 1m; and all remaining internal setbacks on rear sites of 1.5m. <p>Except that:</p> <ul style="list-style-type: none"> i. Accessory buildings for residential activities, including garages, may encroach into any 1m internal setback described in 41.5.1.8(a)(iv) where the buildings are no more than 3.5m in height and where no windows or openings are orientated toward an internal boundary; ii. The eaves of any residential unit may encroach into the setback by no more than 400mm; iii. No setbacks are required when buildings share a common wall at the boundary. 	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. bulk, height and proximity of the building façade to the boundary; b. the impact on neighbours' amenity values; c. shading and access to sunlight.
	<p>Retail Activities</p> <p>41.5.1.9 Retail activities within the R(HD) Activity Areas shall be located within 120 metres of the Primary Road shown on the Structure Plan or within 120 metres of its final formed location.</p>	NC
	<p>41.5.1.10 The total gross floor area of all commercial activities, excluding associated car parking, in the R(HD)A - E Activity Areas shall not exceed 550m² across all Activity Areas.</p>	NC
	<p>State Highway Noise</p> <p>41.5.1.11 Any residential activities located within 80 m of the seal edge of State Highway 6, shall be designed and constructed to meet noise performance standards for noise from traffic on the State Highway that will not exceed 35dBA Leq(24 hour) in bedrooms and 40 dBA (Leq (24 hour) for other habitable rooms in accordance with the satisfactory sound levels recommended by Australian and New Zealand Standard AS/NZ2107:2000 Acoustics Recommended design sound levels and reverberation times for building interiors.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. residents' health and residential amenity.

Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<p>Planting – Jacks Point Residential Activity Areas</p> <p>41.5.1.12 On any site within a Residential Jacks Point R (JP) Activity Area at least 75% of all trees and shrubs planted shall be from the species identified on the Jacks Point plant list contained within Part 41.8. Percentages are in terms of overall plant numbers.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. any effects on nature conservation values; b. effects on landscape character and visual amenity.
	<p>41.5.1.13 Residential Visitor Accommodation</p> <p>41.5.1.13.1 Must be limited to one residential unit or residential flat per site not exceeding a cumulative total of 42 nights occupation by paying guests on a site per 12 month period.</p> <p>41.5.1.13.2 Must not generate any vehicle movements by heavy vehicles, coaches or buses to and from the site.</p> <p>41.5.1.13.3 Must comply with the minimum parking requirements for a residential unit and/or residential flat (whichever is used for the residential visitor accommodation activity) in Chapter 29 Transport.</p> <p>41.5.1.13.4 The Council must be notified in writing prior to the commencement of a Residential Visitor Accommodation activity.</p> <p>41.5.1.13.5 Up to date records of the Residential Visitor Accommodation activity must be kept, including a record of the date and duration of guest stays and the number of guests staying per night, and in a form that can be made available for inspection by the Council at 24 hours' notice.</p> <p>41.5.1.13.6 Smoke alarms must be provided in accordance with clause 5 of the Residential Tenancies (Smoke Alarms and Insulation) Regulations 2016.</p> <p>Note: The Council may request that records are made available to the Council for inspection at 24 hours' notice, in order to monitor compliance with rules 41.5.1.13.1 to 41.5.1.13.6.</p>	<p>D</p>
	<p>41.5.1.14 Homestay</p> <p>41.5.1.14.1 May occur within either an occupied residential unit or an occupied residential flat on a site, and must not occur within both on a site.</p> <p>41.5.1.14.2 Must not exceed 3 paying guests on a site per night.</p>	<p>D</p>

PART 6

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Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<p>41.5.1.14.3 Must comply with minimum parking requirements of standard 29.8.9 in Chapter 29 Transport.</p> <p>41.5.1.14.4 Must not generate any vehicle movements by heavy vehicles, coaches or buses to and from the site.</p> <p>41.5.1.14.5 The Council must be notified in writing prior to the commencement of a Homestay activity.</p> <p>41.5.1.14.6 Up to date records of the Homestay activity must be kept, including a record of the number of guests staying per night, and in a form that can be made available for inspection by the Council at 24 hours' notice.</p> <p>Note: The Council may request that records are made available to the Council for inspection at 24 hours' notice, in order to monitor compliance with rules 41.5.1.14.1 to 41.5.1.14.6.</p>	

Table 7	Standards for activities located in the Jacks Point Zone – Village and Education Activity Areas	Non-compliance Status
41.5.2	Village and Education Activity Areas	
	<p><u>Type and Scale of Commercial Activity</u></p> <p><u>41.5.2.1</u> The maximum net floor area for any single commercial activity (as defined in chapter 2) shall be 200m², <u>except within the Mixed-Use Precinct (M-6) and for premises for the sale and consumption of food and beverages-</u></p> <p><u>41.5.2.2</u> <u>Within the Mixed-Use Precinct (M-6) commercial activity shall be restricted to retailing.</u></p> <p><u>41.5.2.3</u> <u>Within the Visitor Accommodation Precinct commercial activity shall be restricted to premises for the sale of food and beverages.</u></p> <p><u>41.5.2.4</u> <u>Premises for the sale and consumption of food and beverages shall not exceed 400m² of Public Area</u></p> <p><u>41.5.2.1</u> — For the purpose of Rules <u>41.5.2.1, 41.5.2.2 and 41.5.2.3</u>, commercial activities are as defined in Chapter 2, but excludes markets, showrooms, professional, commercial and administrative offices, service stations, and motor vehicle sales.</p>	<p>D</p> <p>D</p> <p>D</p> <p>RD</p> <p><u>Discretion is restricted to:</u></p> <p><u>a. Traffic effects</u></p> <p><u>b. The ability to service the needs of the local catchment</u></p> <p><u>a.c. _____ U</u></p> <p><u>rbn design</u></p>
	<u>Building Coverage</u>	RD

Table 7	Standards for activities located in the Jacks Point Zone – Village and Education Activity Areas	Non-compliance Status
	On any site within the (E) Activity Area, buildings shall not exceed a maximum site coverage of 45%.	Discretion is restricted to: urban design; effects on amenity values for neighbours (particularly in adjoining residential activity areas) and the character of the (E) Activity Area; stormwater management.
	<p><u>41.5.2.5 Building Coverage</u></p> <p>Within the Jacks Point Village JP(V) Activity Area the maximum building coverage shall be in accordance with the Comprehensive Development Plan (Figure 2), calculated across the total Activity Area, shall not exceed 60% for each precinct.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>b.a. urban design;</p> <p>e.b. effects on amenity values for neighbours and the character of the Activity Area;</p> <p>e.c. stormwater management.</p>
	<p><u>41.5.2.6 Village V(JP) Activity Area – Minimum Ground Floor Height</u></p> <p>Within the Village V(JP) Activity Area Mixed Use Precincts (M-1) to (M-6), as shown on the Village V(JP) Activity Area Comprehensive Development Plan (Figure 2) the ground floor of any building must have a minimum finished floor to ceiling height of 3.5m for a minimum depth of 7m in from the building's road frontage.</p>	<p><u>RD</u></p> <p>Discretion is restricted to:</p> <p>a. Effect on flexible use of buildings; and</p> <p>b. Effect on streetscape amenity.</p>
	<p><u>41.5.2.7 Village V(JP) Activity Area – Pedestrian Links</u></p> <p>Within the V(JP) Activity Area all new building, or alterations to buildings (except repainting) located on sites which are identified for pedestrian links or lanes shown within the Jacks Point Village Comprehensive Development Plan (Figure 2) shall provide a ground level pedestrian link or lane in the general location shown.</p>	<u>D</u>
	<p><u>41.5.2.8 V(JP) – Design Guidelines</u></p> <p>Building within the V(JP) Activity Area where a requirement to comply with the Jacks Point</p>	<u>D</u>

Table 7	Standards for activities located in the Jacks Point Zone – Village and Education Activity Areas	Non-compliance Status
	<p><u>Village Design Guidelines has not been registered on the title for the Site.</u></p>	
	<p>Building coverage in the Homestead Bay Village</p> <p>41.5.2.2<u>41.5.2.9</u> Within the Homestead Bay V(HB) Activity Area, the maximum building coverage, calculated across the total Activity Area, shall not exceed 60%.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. urban design; b. effects on amenity values for neighbours and the character of the Activity Area; c. stormwater management.
	<p>Building Height</p> <p>41.5.2.3<u>41.5.2.10</u> The maximum height of buildings shall be:</p> <ul style="list-style-type: none"> a. Homestead Bay Village (V-HB) Activity Area 10m b. Jacks Point Village (V-JP) Activity Area 12m and comprising no more than 3 storeys, <u>except as provided for within clauses c. and d. below.</u> b. <u>c. Within Visitor Accommodation Precincts (VA-1) and (VA-2) and Mixed-Use Precinct (M-5), maximum building height shall be 12m</u> c. <u>Within Visitor Accommodation Precincts (VA-1) and (VA-2) and Mixed-Use Precinct (M-5), maximum building height shall be 15m for no greater than 25% of the building footprint.</u> Education Precinct (E) Activity Area 10m d. all other buildings and structures 4m 	<p>NC</p> <p><u>D</u></p> <p><u>NC</u></p>
	<p>Residential Units</p> <p>41.5.2.4<u>41.5.2.11</u> In the V(HB) Activity Area, no residential units may be constructed until 80% of the freehold land within the Open Space Foreshore Activity Area has been planted with native endemic species</p>	<p>NC</p>

Table 8	Standards for activities located in the Jacks Point Zone – Lodge Activity Area	Non-compliance Status
41.5.3	Lodge Activity Areas	
	<p>Building Setback</p> <p>41.5.3.1 In Lodge Activity Area denoted as L(P) on the Structure Plan, buildings and structures shall be set back a minimum of 10m from the activity area boundary.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ol style="list-style-type: none"> the outdoor car parking areas with respect to the effects on visual and landscape values; the effectiveness of mounding and planting at screening buildings and car parking and the shape and design of earthworks, including their relationship to existing landforms.
	<p>Building Height</p> <p>41.5.3.2 In the Lodge (L) Activity Areas, the maximum height of any building shall be 5.0m.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ol style="list-style-type: none"> visual dominance; external appearance; the scale and extent of the portions that exceed 5m.
	<p>41.5.3.3 In the Lodge (L) Activity Area, the maximum height of any building shall be 7.5m.</p>	NC

Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status
41.5.4	Open Space (OS) and Homesite (HS) Activity Areas	
	<p>41.5.4.1 Boundaries of Open Space Activity Areas</p> <p>The boundaries of Open Space Activity Areas are shown indicatively and may be varied by up to 20m and the exact location and parameters are to be established through the subdivision process. Development prior to such subdivision occurring, which would preclude the creation of these open spaces, shall be contrary to this rule.</p>	D
	Open Space - Subdivision	D

Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status																																																																												
	41.5.4.2 Within any open space area created by subdivision, in accordance with (Rules 41.5.4.1 and 27.7.5.1), there shall be no building.																																																																													
	<p>Building Coverage – Homesite (HS) Activity Area</p> <p>41.5.4.3 Within any Homesite (HS) Activity Area, buildings shall not exceed a total building footprint of 1,000m² within each homesite.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. the external appearance of buildings with respect to the effect on visual and landscape values of the area.; b. associated earthworks and landscaping; c. bulk and location; d. visibility of the building from State Highway 6 and Lake Wakatipu. 																																																																												
	<p>Building height relative to ground level – Homesite (HS) Activity Area</p> <p>41.5.4.4 The maximum height for any building shall be 5m above the datum level specified for each Homesite, as follows:</p> <table border="0" data-bbox="478 1254 1037 1881"> <thead> <tr> <th>Homesite</th> <th>Datum (mas)</th> <th>Homesite</th> <th>Datum (mas)</th> </tr> </thead> <tbody> <tr><td>HS1</td><td>372.0</td><td>HS19</td><td>372.0</td></tr> <tr><td>HS2</td><td>381.0</td><td>HS20</td><td>377.2</td></tr> <tr><td>HS3</td><td>381.0</td><td>HS21</td><td>372.5</td></tr> <tr><td>HS4</td><td>377.0</td><td>HS22</td><td>374.0</td></tr> <tr><td>HS5</td><td>388.0</td><td>HS23</td><td>371.5</td></tr> <tr><td>HS6</td><td>382.0</td><td>HS24</td><td>372.4</td></tr> <tr><td>HS7</td><td>379.0</td><td>HS25</td><td>373.0</td></tr> <tr><td>HS8</td><td>386.5</td><td>HS26</td><td>378.1</td></tr> <tr><td>HS9</td><td>389.0</td><td>HS27</td><td>388.0</td></tr> <tr><td>HS10</td><td>395.0</td><td>HS28</td><td>392.6</td></tr> <tr><td>HS11</td><td>396.0</td><td>HS29</td><td>385.5</td></tr> <tr><td>HS12</td><td>393.0</td><td>HS30</td><td>395.9</td></tr> <tr><td>HS13</td><td>399.0</td><td>HS31</td><td>393.7</td></tr> <tr><td>HS14</td><td>403.0</td><td>HS32</td><td>384.8</td></tr> <tr><td>HS15</td><td>404.0</td><td>HS33</td><td>385.8</td></tr> <tr><td>HS16</td><td>399.5</td><td>HS34</td><td>399.0</td></tr> <tr><td>HS17</td><td>394.5</td><td>HS35</td><td>405.0</td></tr> <tr><td>HS18</td><td>392.5</td><td></td><td></td></tr> </tbody> </table>	Homesite	Datum (mas)	Homesite	Datum (mas)	HS1	372.0	HS19	372.0	HS2	381.0	HS20	377.2	HS3	381.0	HS21	372.5	HS4	377.0	HS22	374.0	HS5	388.0	HS23	371.5	HS6	382.0	HS24	372.4	HS7	379.0	HS25	373.0	HS8	386.5	HS26	378.1	HS9	389.0	HS27	388.0	HS10	395.0	HS28	392.6	HS11	396.0	HS29	385.5	HS12	393.0	HS30	395.9	HS13	399.0	HS31	393.7	HS14	403.0	HS32	384.8	HS15	404.0	HS33	385.8	HS16	399.5	HS34	399.0	HS17	394.5	HS35	405.0	HS18	392.5			NC
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HS18	392.5																																																																													
	41.5.4.5 Building within any Homesite where a requirement to comply with the Preserve Design Guidelines has been registered on the title for the Site.	RD																																																																												

Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status
	Discretion is restricted to the matters of discretion listed in 41.4.4.17.	
	<p>Revegetation – Homesite (HS) Activity Area</p> <p>41.5.4.6 No buildings shall be erected within a Homesite (HS) Activity Area unless and until an area as specified within this rule has been re-vegetated with native vegetation. The area required to be re-vegetated for the purposes of this rule shall be the greater of 3,000m² or 20 per cent of the area of the lot or title within which the Homesite (HS) Activity Area is situated, whichever is greater. For the purposes of this rule no account shall be taken of any native vegetation existing at the date of application for subdivision consent to create the lot or title within which the Homesite (HS) Activity Area is located.</p>	D
	<p>Building Height</p> <p>41.5.4.7 The maximum height of buildings shall be:</p> <p>a. Homesite Activity Area 5 m</p> <p>b. all other buildings and structures 4 m</p>	NC
	<p>Residential Units</p> <p>41.5.4.8 In the OSH, OSR, and OS Activity Areas, no residential units may be constructed until 80% of the freehold land within the Open Space Foreshore Activity Area has been planted with native endemic species.</p>	NC
	<p>Standards for Building</p> <p>41.5.4.9 Within the Open Space - Horticultural (OSH) Activity Area:</p> <p>a. there shall be no more than 15 building platforms;</p> <p>b. those 15 building platforms referred to in (a) above are confined to 3 or 4 clusters; and</p> <p>c. no building is to be erected prior to the horticultural activity being planted.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. the external appearance of buildings with respect to the effect on visual and landscape values of the area;</p> <p>b. associated earthworks and landscaping;</p> <p>c. bulk and location;</p> <p>d. visibility of the building from State Highway 6 and Lake Wakatipu.</p>

Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status
	<p>Farm buildings within the Open Space Landscape (OSL) Activity Area and not within a Landscape Protection Area</p> <p>41.5.4.10 The construction, replacement or extension of a farm building within the Open Space Landscape Activity Area shall meet the following standards:</p> <ol style="list-style-type: none"> a. the landholding the farm building shall be located within is greater than 100 ha; and b. the density of all buildings on the landholding site, inclusive of the proposed building(s) does not exceed one farm building per 50 hectares on the site; and c. the farm building shall be less than 5m in height and the ground floor area shall be no greater than 300m²; and d. farm buildings shall not protrude onto a skyline or above a terrace edge when viewed from adjoining sites, or formed roads within 2km of the location of the proposed building. 	<p>RD</p> <p>Discretion is restricted to:</p> <ol style="list-style-type: none"> a. the extent to which the scale and location of the farm building is appropriate in terms of: <ol style="list-style-type: none"> i. rural amenity values; ii. landscape character; iii. privacy, outlook, and rural amenity from adjoining properties; iv. visibility, including lighting; v. scale; vi. location.
	<p>Planting and Cultivation – Landscape Protection and Tablelands Areas</p> <p>41.5.4.11 Within the Highway Landscape Protection Area (refer Structure Plan 41.7) the planting and/or growing of any tree shall not obscure views from the State Highway to the mountain peaks beyond the zone.</p>	D
	<p>41.5.4.12 Within the Peninsula Hill Landscape Protection Area (refer Structure Plan 41 7) the planting and/or cultivation of any tree or shrub shall be indigenous and characteristic of the Peninsula Hill escarpment (i.e. grey shrubland and tussock grassland on exposed sites and beech forest on sheltered sites).</p>	D
	<p>41.5.4.13 Within the Lakeshore Landscape Protection Area (refer Structure Plan 41.7) the planting and/or cultivation of any tree or shrub shall be indigenous and characteristic of the Lake Wakatipu foreshore (i.e. broadleaf forest, grey shrubland and tussock grassland plant communities).</p>	D
	<p>41.5.4.14 Within the Tablelands Area (refer Structure Plan 41.7), there shall be no exotic vegetation</p>	D

Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status
	<p>planted and/or cultivated, with the exception of:</p> <ul style="list-style-type: none"> a. grass species if local and characteristic of the area; and b. other vegetation if it is: <ul style="list-style-type: none"> i. less than 0.5 metres in height; and ii. less than 20 square metres in area; and within 10 metres of a building; and iii. intended for domestic consumption. 	
	41.5.4.15 Within the OSR Activity Area, at least 50% of any site shall be planted in native vegetation, prior to building.	RD Discretion is restricted to any effects on nature conservation values.
	<p>Open Space Wetlands (OSW) Activity Area</p> <p>41.5.4.16 There shall be no development or landscaping, within 7 metres of any wetland located within a Wetland Activity area identified on the Structure Plan, except to enable development of pedestrian access (including boardwalks), the erection of fences to control stock or other structures related to the protection of these areas, or to undertake ecological enhancement, including the removal of plant pests.</p>	NC
	<p>Fencing</p> <p>41.5.4.17 There shall be no fences or walls within the boundary of any lot or title within the Tablelands Landscape Protection Area (refer Structure Plan) outside of any Homesite (HS) Activity Area or approved building platform, except for fencing between stock managed areas and areas retired from stock and for the purpose of demarcating private land from land accessible to the public as a result of the creation of public walkways additional to those walkways identified as “Public Access Route” on the Structure Plan. Any such fencing shall be post and wire only.</p>	D
	Temporary and Permanent Storage of Vehicles	NC

Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status
	<p>41.5.4.18 Within the Tablelands Landscape Protection Area (refer Structure Plan), but excluding the Homesite (HS) Activity Areas, there shall be no temporary or permanent siting of:</p> <ul style="list-style-type: none"> a. motor vehicles, trailers, caravans, boats or similar objects; b. storage containers, workshops, offices, sheds, huts or similar structures (other than public toilets and shelter); and c. scaffolding or similar construction materials. <p>Except for temporary filming towers erected during an event and for no more than 7 days either side of an event.</p>	

Table 10	Standards for activities located in the Jacks Point Zone – Zone Wide Standards	Non-compliance Status
41.5.5	General Zone Wide Standards	
	<p>Structure Plan</p> <p>41.5.5.1 Development shall be undertaken in general accordance with the Structure Plan in Part 41.7. For the purposes of interpreting this rule, the following shall apply:</p> <ul style="list-style-type: none"> a. a variance of up to 120m from the location and alignment shown on the Structure Plan of the Primary Roads, and their intersections with State Highway 6, shall be acceptable; b. Public Access Routes and Secondary Roads may be otherwise located and follow different alignments provided that any such alignment enables a similar journey; c. development shall facilitate a road connection at each Key Road Connection shown on the Structure Plan to enable vehicular access to roads which connect with the Primary Roads, provided that a variance of up to 50m from the location of the connection shown on the Structure Plan shall be acceptable. 	D

	<p>Village V(JP) Activity Area – Comprehensive Development Plan</p> <p>41.5.5.2 Development shall be undertaken in accordance with the Comprehensive Development Plan contained within Figure 2. Within this area the following standards apply:</p> <p>a. Pedestrian paths and cycle trails shall be located in accordance with the Path and Trail Network Plans, including key connections to areas outside of the Village V(JP) Activity Area</p> <p>b. Road design standards shall be in accordance with the typical sections and details relevant to the hierarchy of each road</p> <p>c. Road designs shall make provision for EV charging points, bus stops along Passenger Transport routes, and bike storage.</p>	D
	<p>Setbacks from the zone boundary</p> <p>41.5.5.241.5.5.3 Buildings or structures shall be set back a minimum of 20m from the zone boundary, except this rule shall not apply to the Boating Facilities (BFA) Activity Area.</p>	RD Discretion is restricted to: a. bulk, height and proximity of the building facade to the boundary; b. the impact on neighbours amenity values; c. shading and access to sunlight.
	<p>Access to the State Highway</p> <p>41.5.5.341.5.5.4 Access from State Highway 6 shall be only at the intersections at Maori Jack Road, and Woolshed Road and in a third location as approved by RM160562, as shown on the Structure Plan.</p>	RD Discretion is restricted to: a. the safe and efficient functioning of the road network.
	<p>41.5.5.441.5.5.5 The scale of use of the Woolshed Road access shall not increase until an amended design for that road’s intersection with State Highway 6 has been upgraded, completed and available for use, except as provided for through the approval of a Traffic Management Plan by the NZ Transport Agency (refer Advisory Note below).</p>	RD Discretion is restricted to: a. the safe and efficient functioning of the road network.

	<p>Advice Notes:</p> <p>a. a 'Traffic Management Plan' is required to be submitted to the NZ Transport Agency from any person/s using Woolshed Road in relation to construction within the Jacks Point Resort Zone;</p> <p>b. the upgrade of the intersection of Woolshed Road and State Highway 6 will require approval from the NZ Transport Agency.</p>	
	<p>Building Colours</p> <p>41.5.5.5<u>41.5.5.6</u> Any building shall result in:</p> <p>a. at least 70% of the total painted or galvanised external surface of buildings (excluding roofs and windows) with a reflectance value of between 0 and 35% ;</p> <p>b. roof colours with a light reflectance value of 20% or less, and in the range of browns, greys and black.</p>	D
	<p>Glare</p> <p>41.5.5.6<u>41.5.5.7</u> All fixed lighting shall be directed away from adjacent roads and properties.</p>	NC
	<p>41.5.5.7<u>41.5.5.8</u> No activity shall result in a greater than 3.0 lux spill, horizontal and vertical, of light onto any property located outside of the Zone, measured at any point inside the boundary of the adjoining property.</p>	NC
	<p>Outside storage and non-residential activities</p> <p>41.5.5.8<u>41.5.5.9</u> In relation to non-residential activities, no goods, materials or equipment shall be stored outside a building, except for vehicles associated with the activity parked on the site overnight.</p>	NC
	<p>41.5.5.9<u>41.5.5.10</u> All manufacturing, altering, repairing, dismantling or processing of any materials, goods or articles shall be carried out within a building except in relation to farming.</p> <p>Except within the Village Activity Areas, where outside storage and activities are permitted.</p>	NC
	<p>Servicing</p> <p>41.5.5.10<u>41.5.5.11</u> All dwellings shall connect to reticulated infrastructure for the provision of a</p>	NC

	<p>water supply, wastewater disposal, power and telecommunications.</p> <p>(Except this Standard shall not apply within any Homesite Activity Area)</p> <p>41.5.5.11<u>41.5.5.12</u> All services, with the exception of stormwater systems, shall be reticulated underground.</p>	
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41.6 Rules - Non-Notification of Applications

41.6.1 Any application for resource consent for a controlled activity shall not require the written approval of other persons and shall not be notified.

41.6.2 Any application for the following activities shall not require the written approval of other persons and shall not be notified.

- a. Rules 41.4.3.3 and 41.4.3.5 Buildings and tennis courts (including the addition to or construction of buildings) within the Lodge (L) Activity Areas.

41.6.3 Any application for resource consent for the following restricted discretionary activities shall be considered without public notification but notice shall be served on those persons considered to be adversely affected if written approval has not been obtained.

- a. Rule 41.4.1.8 Commercial activities, community and visitor accommodation.
- b. Rule 41.4.5.1 Sale of Liquor.
- c. Rule 41.5.1.7 Setbacks from Roads and Internal Boundaries.
- d. Rules 41.5.5.3 and 41.5.5.4 Access to the State Highway.

41.7 **Structure Plan** Refer to Consent Order: <https://www.qldc.govt.nz/media/ijqeizuk/2020-05-21-consent-order-topic-22-jacks-point.pdf>

Jacks Point Resort Zone Structure Plan

LEGEND

-  Outstanding Natural Landscape Line
-  Activity Area
-  Public Access Route (location indicative)
-  Secondary Road Access (location indicative)
-  Primary Road Access (location indicative)
-  Key Road Connections (location indicative)
-  State Highway Mitigation

OVERLAYS

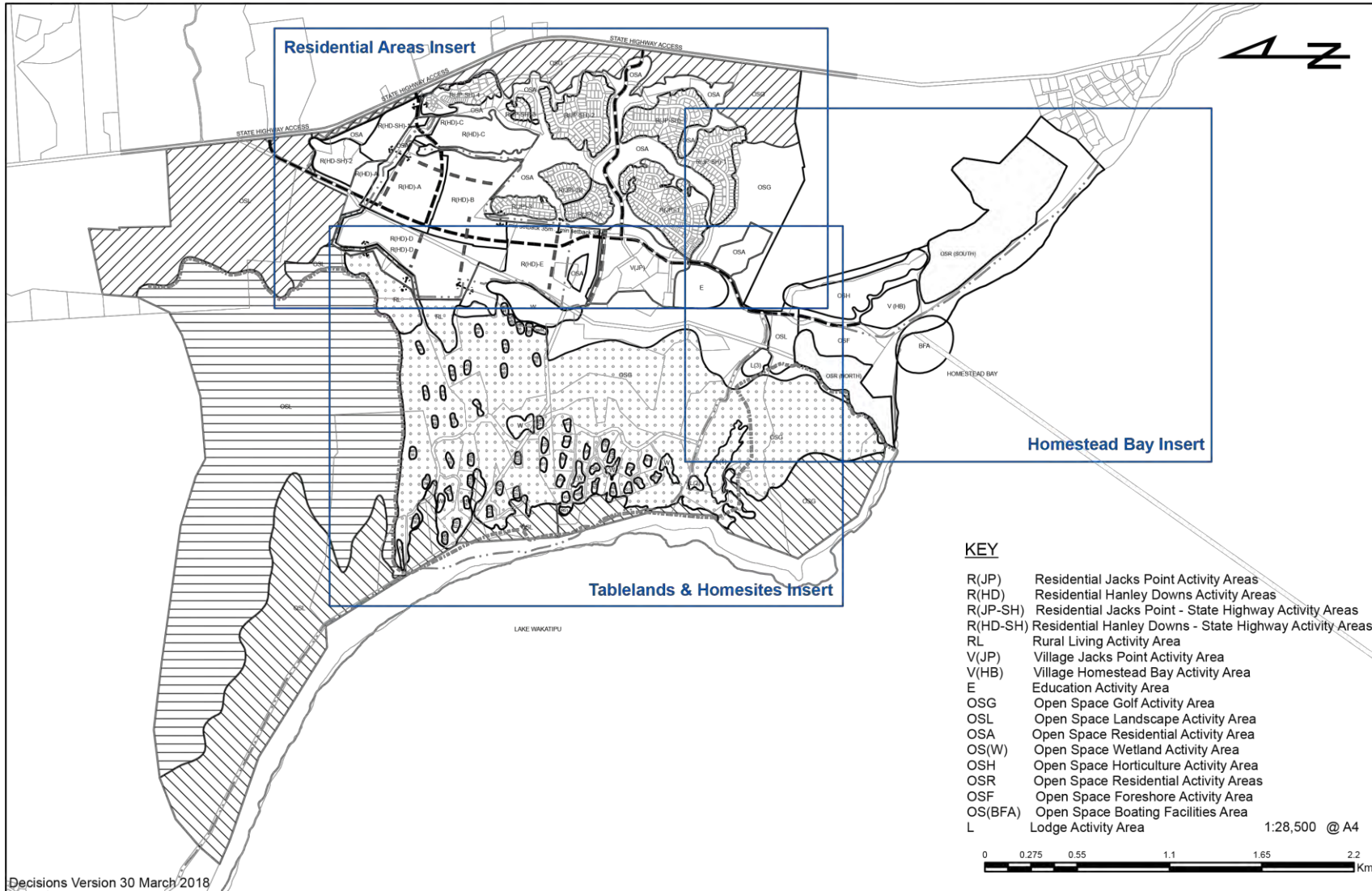
-  Highway Landscape Protection Area
-  Peninsula Hill Landscape Protection Area
-  Lake Shore Landscape Protection Area
-  Tablelands Landscape Protection Area

KEY

- R(JP) Residential Jacks Point Activity Areas
- R(HD) Residential Hanley Downs Activity Areas
- R(JP-SH) Residential Jacks Point - State Highway Activity Areas
- R(HD-SH) Residential Hanley Downs - State Highway Activity Areas
- RL Rural Living Activity Area
- V(JP) Village Jacks Point Activity Area
- V(HB) Village Homestead Bay Activity Area
- E Education Activity Area
- OSG Open Space Golf Activity Area
- OSL Open Space Landscape Activity Area
- OSA Open Space Residential Activity Area
- OS(W) Open Space Wetland Activity Area
- OSH Open Space Horticulture Activity Area
- OSR Open Space Residential Activity Areas
- OSF Open Space Foreshore Activity Area
- OS(BFA) Open Space Boating Facilities Area
- L Lodge Activity Area

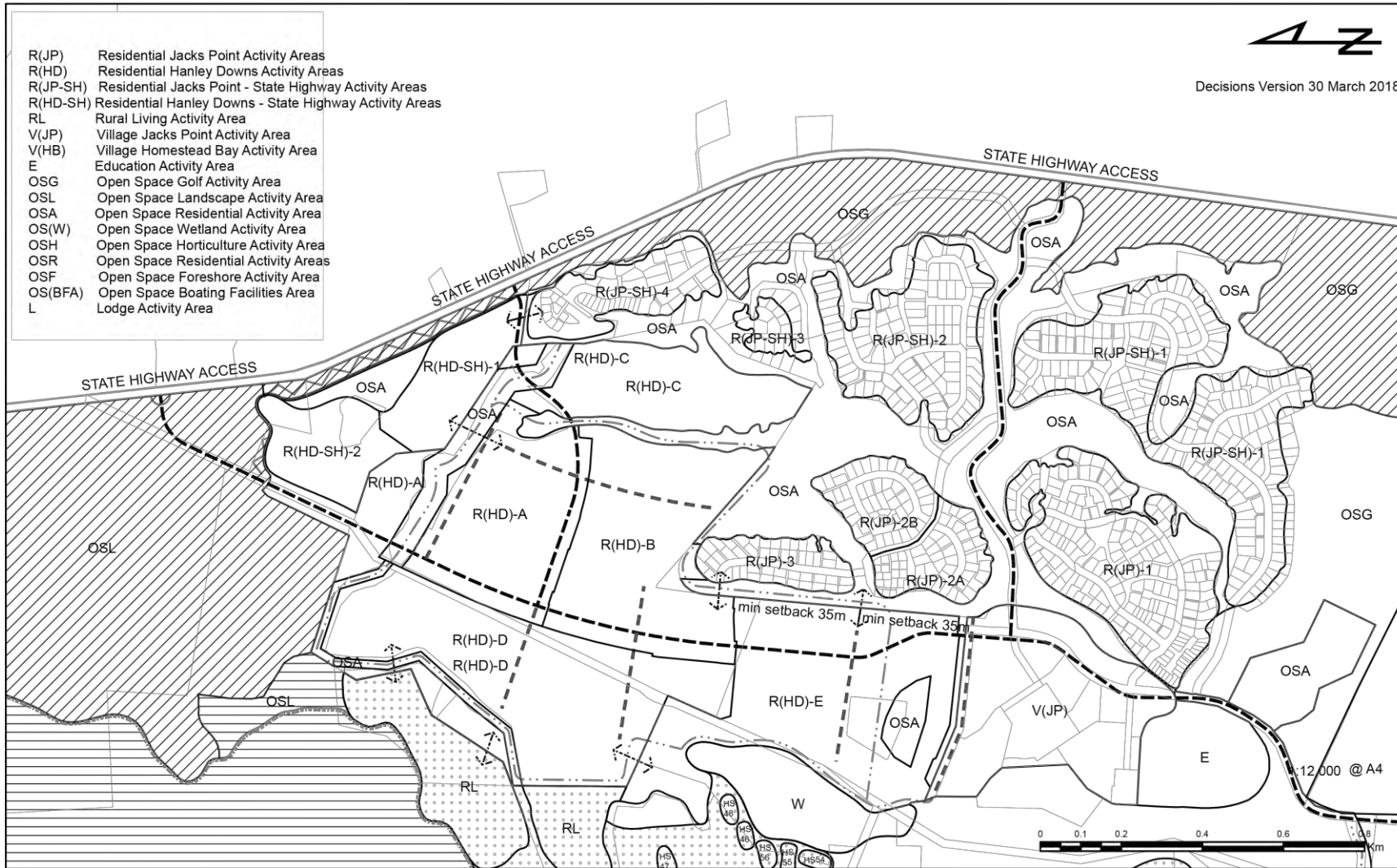
Decisions Version 30 March 2018

Jacks Point Resort Zone Structure Plan



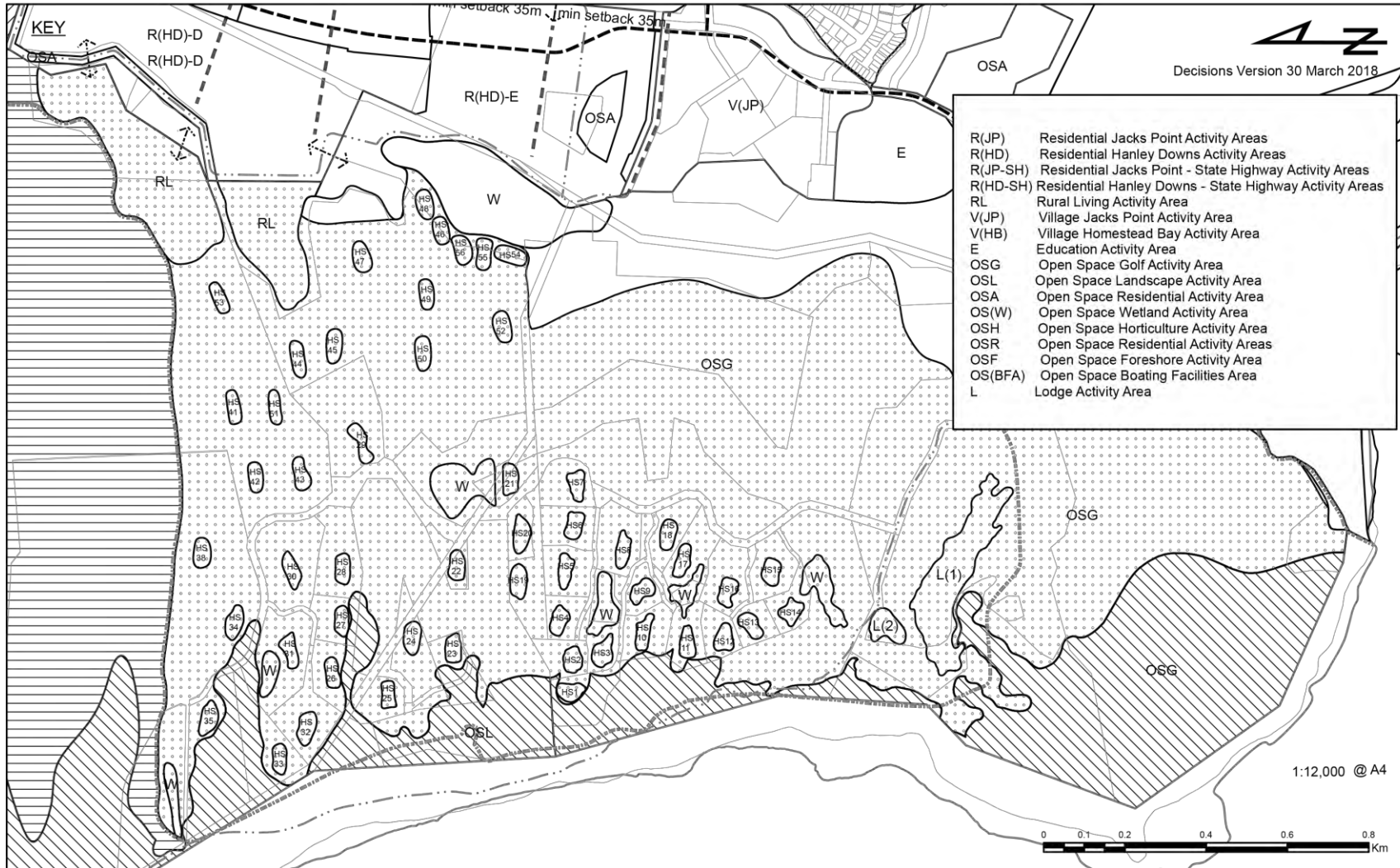
JACKS POINT 41

Jacks Point Resort Zone Structure Plan Residential Areas Insert

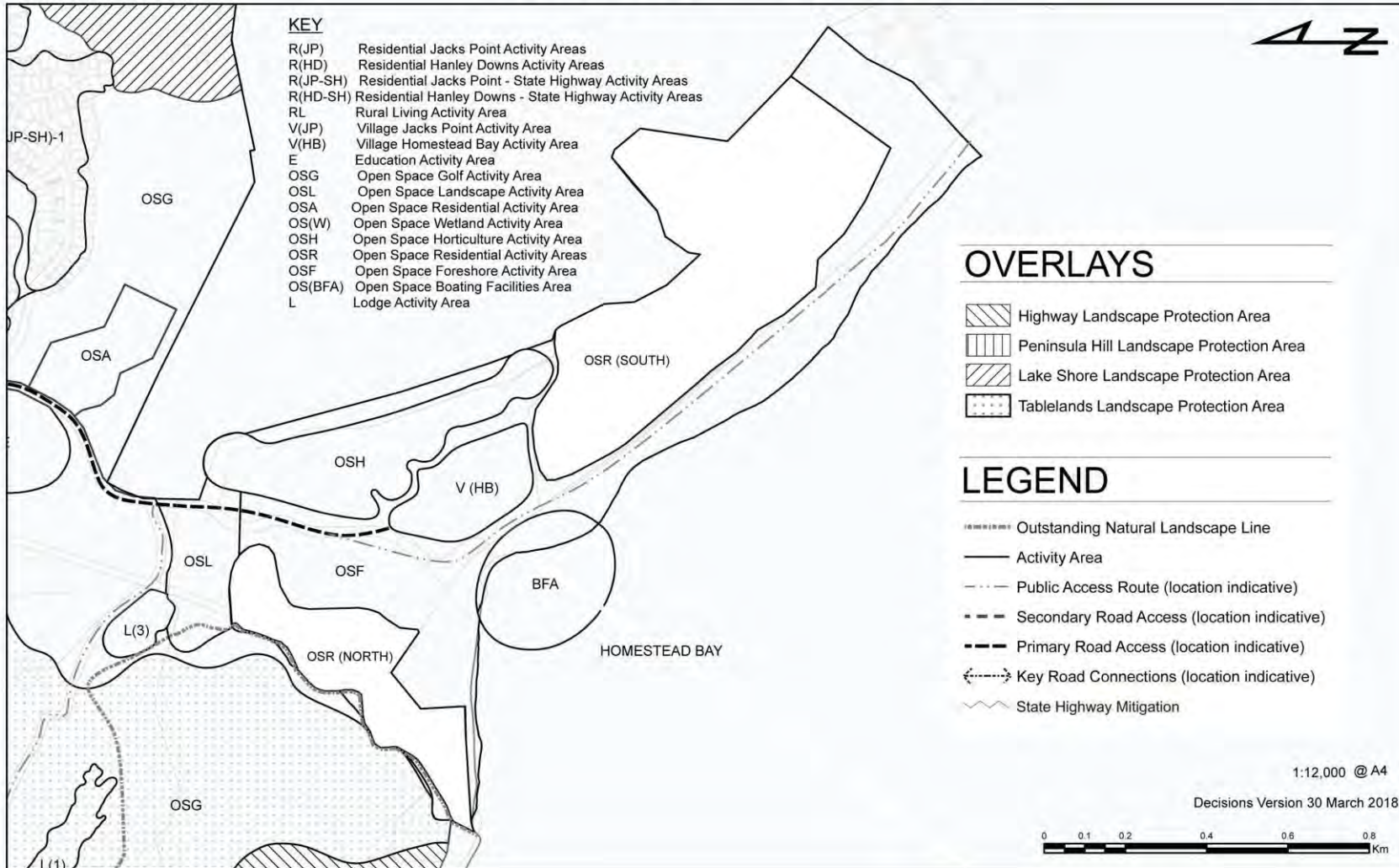


JACKS POINT 41

Jacks Point Resort Zone Structure Plan Tablelands & Homesites Insert



Jacks Point Resort Zone Structure Plan
Homestead Bay Insert



41.8 Jacks Point Plant List

Trees

Botanical Name	Common Name	Sun	Mid Sun	Shade	Moist	Dry	Sheltered	Exposed
<i>Aristotelia serrata</i>	Wineberry	x	x		x	x		x
<i>Carpodetus serratus</i>	Putaputaweta / marbleleaf	x	x		x		x	
<i>Coprosma linariifolia</i>	Mikimiki	x	x		x	x		x
<i>Cordyline australis</i>	Ti kouka / cabbage tree	x	x		x	x		x
<i>Fuchsia excorticata</i>	Kotukutuku / tree fuchsia		x		x		x	
<i>Elaeocarpus hookerianus</i>	Pokaka		x		x		x	
<i>Griselinia littoralis</i>	Kapuka / broadleaf	x	x		x	x		x
<i>Hoheria lyallii</i>	Mountain ribbonwood	x			x			x
<i>Melicytus lanceolatus</i>	Mahoe wao	x	x		x		x	
<i>Melicytus ramiflorus</i>	Mahoe / whiteywood	x	x		x	x		x
<i>Metrosideros umbellata</i>	Southern rata	x	x		x	x		x
<i>Myrsine australis</i>	Mapou	x	x	x	x	x		x
<i>Nothofagus fusca</i>	Red beech	x	x		x	x	x	
<i>Nothofagus solandri</i> var. <i>cliffortioides</i>	Mountain beech	x	x		x	x	x	
<i>Pennantia corymbosa</i>	Kaikomako	x	x		x	x		x
<i>Pittosporum eugenioides</i>	Tarata / lemonwood	x	x		x	x		x
<i>Pittosporum tenuifolium</i>	Kohuhu	x	x		x	x		x
<i>Podocarpus hallii</i>	Hall's Totara	x	x		x	x		x
<i>Prumnopitys taxifolia</i>	Matai		x	x	x	x	x	
<i>Pseudopanax crassifolius</i>	Lancewood	x	x		x	x		x
<i>Sophora microphylla</i>	Kowhai	x	x		x	x	x	

Shrubs

Botanical Name	Common Name	Sun	Mid Sun	Shade	Moist	Dry	Sheltered	Exposed
<i>Aristotelia fruticosa</i>	Mountain wineberry	x			x			x
<i>Carmichaelia petriei</i>	NZ broom	x	x	x	x			x
<i>Coprosma crassifolia</i>	NZ Coprosma	x	x		x	x		x
<i>Coprosma lucida</i>	Shining Karamu		x	x	x	x		x
<i>Coprosma propinqua</i>	Mingimingi	x			x	x		x
<i>Coprosma rugosa</i>	Needle-leaved Mt Coprosma	x	x		x	x		x
<i>Corokia cotoneaster</i>	Korokia	x	x		x	x		x
<i>Cyathodes juniperina</i>	Mingimingi	x	x			x		x
<i>Discaria toumatou</i>	Matagouri	x			x	x		x
<i>Dracophyllum longifolium</i>	Inaka	x	x			x		x
<i>Dracophyllum uniflorum</i>	Turpentine shrub	x	x		x			x
<i>Gaultheria antipoda</i>	Tall snowberry	x		x	x	x	x	
<i>Hebe cupressoides</i>	Cypress Hebe	x				x		x
<i>Hebe odora</i>		x			x			x

PART 6

JACKS POINT 41

Botanical Name	Common Name	Sun	Mid Sun	Shade	Moist	Dry	Sheltered	Exposed
<i>Hebe rakaiensis</i>		x			x	x		x
<i>Hebe salicifolia</i>	South Island Koromiko	x			x			x
<i>Hebe subalpina</i>		x			x	x		x
<i>Leptospermum scoparium</i>	Manuka	x	x		x	x		x
<i>Melicytus alpinus</i>	Porcupine shrub	x	x		x	x		x
<i>Myrsine divaricata</i>	Weeping mapou	x	x		x	x		x
<i>Olearia arborescens</i>	Southern Tree Daisy	x	x		x	x		x
<i>Olearia avicenniifolia</i>	Tree Daisy	x				x		x
<i>Olearia bullata</i>		x			x	x		x
<i>Olearia cymbifolia</i>		x	x		x	x		x
<i>Olearia fragrantissima</i>		x				x	x	
<i>Olearia hectori</i>		x			x	x		x
<i>Olearia lineata</i>	Tree Daisy	x	x		x	x		x
<i>Olearia nummulariaefolia</i>	Tree Daisy	x				x		x
<i>Olearia odorata</i>	Tree Daisy	x			x		x	
<i>Ozothamnus sp.</i>	Cottonwood	x			x	x		x
<i>Pimelea aridula</i>	NZ daphne	x			x	x		x
<i>Pseudopanax colensoi</i> var. <i>ternatus</i>	Mountain three finger		x	x	x	x		x

Grasses

Botanical Name	Common Name	Sun	Mid Sun	Shade	Moist	Dry	Sheltered	Exposed
<i>Aciphylla aurea</i>	Golden speargrass	x				x		x
<i>Aciphylla glaucescens</i>	Blue speargrass	x				x		x
<i>Astelia fragrans</i>	Bush lily		x	x	x		x	
<i>Astelia nervosa</i>	Mountain Astelia		x	x	x	x		x
<i>Carex coriacea</i>	NZ swamp sedge	x			x			x
<i>Carex maorica</i>	Carex	x	x		x			x
<i>Carex secta</i>	Purei	x	x		x			x
<i>Chionochloa conspicua</i>	Bush tussock	x	x		x	x		x
<i>Chionochloa rigida</i>	Narrow-leaved snow tussock	x			x	x		x
<i>Chionochloa rubra</i>	Red Tussock	x			x	x		x
<i>Cortaderia richardii</i>	South Island Toeotoe	x			x	x		x
<i>Festuca novae zelandiae</i>	Hard tussock	x				x		x
<i>Juncus distegus</i>	Wiwi		x		x			x
<i>Juncus gregiflorus</i>	NZ soft rush		x		x			x
<i>Juncus sarophorus</i>	Wiwi	x	x		x			x
<i>Phormium cookianum</i>	Mountain flax	x			x	x		x
<i>Phormium tenax</i>	Harakeke/swamp flax	x			x	x		x
<i>Poa cita</i>	Silver tussock	x			x	x		x
<i>Schefflera digitata</i>	Seven finger	x	x		x	x	x	
<i>Schoenus pauciflorus</i>	Bog rush	x			x		x	
<i>Typha orientalis</i>	Raupo / bullrush	x			x			x

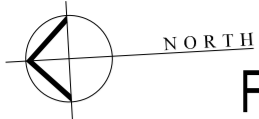


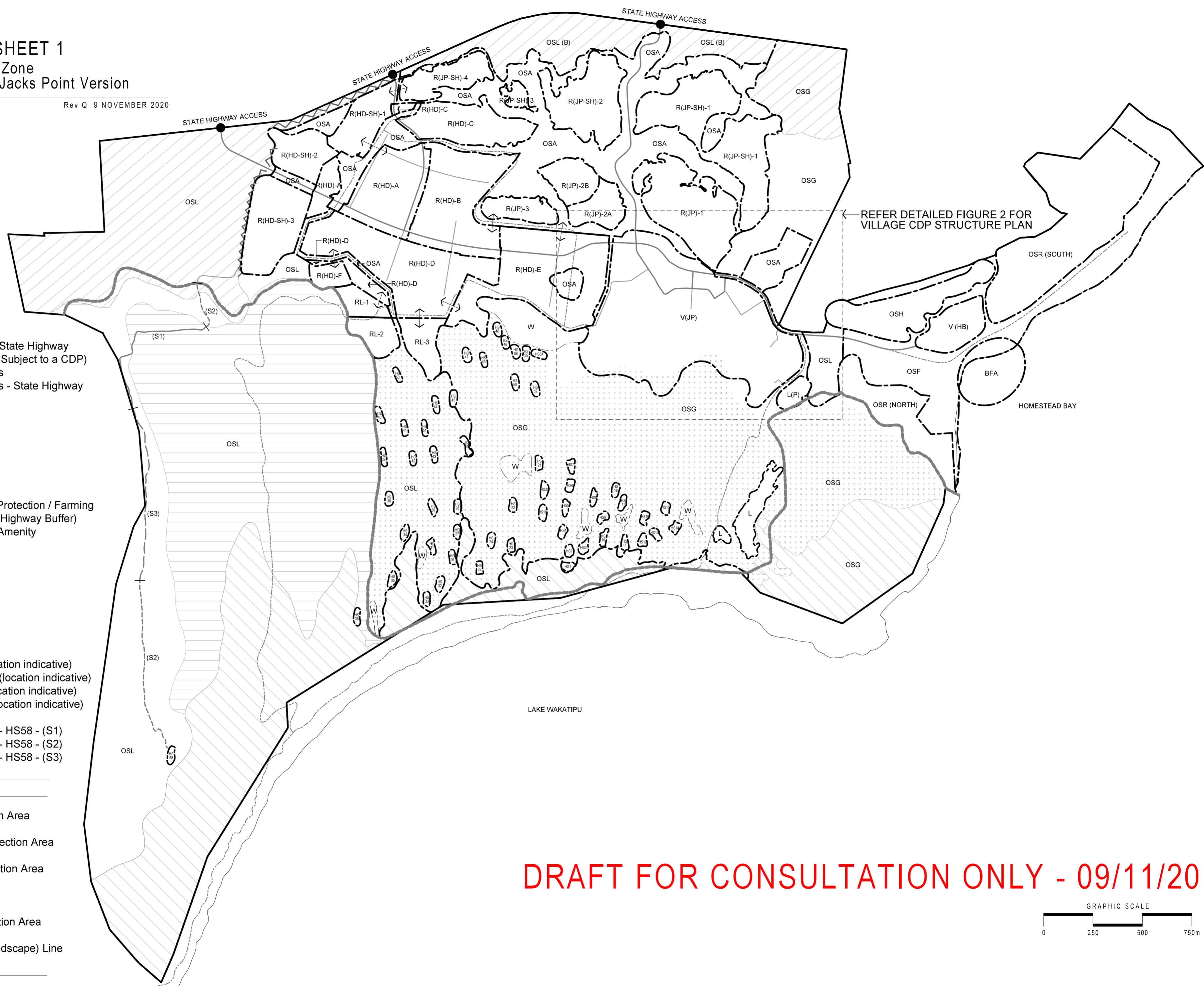
FIGURE 1 - SHEET 1

Jacks Point Zone Structure Plan for S293 - Jacks Point Version

scale 1:25,000 (A4), 1:12,500 (A2)

Rev Q 9 NOVEMBER 2020

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KEY

- R(JP) Residential Jacks Point
- R(JP-SH) Residential Jacks Point - State Highway
- V(JP) Village Jacks Point (Area Subject to a CDP)
- R(HD) Residential Hanley Downs
- R(HD-SH) Residential Hanley Downs - State Highway
- RL Rural Living

- L Lodge
- L(P) Lodge Parking
- HS Preserve Homesites

- W Wetland
- OSG Open Space Golf
- OSL Open Space Landscape Protection / Farming
- OSL (B) Open Space Landscape (Highway Buffer)
- OSA Open Space Residential Amenity

- V(HB) Village Homestead Bay
- OSH Open Space Horticulture
- OSR (NORTH) Open Space Residential
- OSR (SOUTH) Open Space Residential
- OSF Open Space Foreshore
- BFA Boating Facilities Area

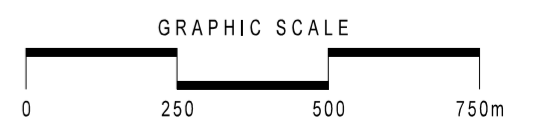
- Activity Area
- - - Public Access Route (location indicative)
- Secondary Road Access (location indicative)
- Primary Road Access (location indicative)
- ↔ Key Road Connections (location indicative)

- Secondary Road Access - HS58 - (S1)
- Secondary Road Access - HS58 - (S2)
- Secondary Road Access - HS58 - (S3)

OVERLAYS

- Highway Landscape Protection Area
- Peninsula Hill Landscape Protection Area
- Lake Shore Landscape Protection Area
- State Highway Mitigation
- Tablelands Landscape Protection Area
- ONL (Outstanding Natural Landscape) Line

DRAFT FOR CONSULTATION ONLY - 09/11/20



Appendix 2: CDP March 2021 Update

EXECUTIVE SUMMARY

JACKS POINT VILLAGE PROPOSED COMPREHENSIVE DEVELOPMENT PLAN AND ITS PROCESS

1.0 PLANNING HISTORY

The Village has been a key element to Jack's Point settlement plan since its conception and its approval dates back to 2002 when the initial zoning of Jack's Point as a special zone in the Queenstown Lakes District Plan. This provided for a total of 28.95ha of Village Activity Area, and a total site coverage of 17.37ha. The neighbouring property Henley Farm, under separate ownership to Jack's Point, was also included in the Jack's Point Zone, such that (13.88ha) of the Village Activity Area was located on their immediately adjoining land, with the balance (15.07ha) remaining on Jack's Point land – where the Village is located today.

Development of the Village was planned to occur in an integrated manner, as the residential settlement grew.

Then, under new ownership, Henley Downs sought to establish a separate zone that provided for significant increase in residential capacity and reduction of protected open space areas and design controls. This rezoning process and the subsequent District Plan Review saw the Village Activity Area on Henley Farm being changed to residential, and 7.00ha of the Driving Range within Jack's Point being incorporated into the Structure Plan as an Education Activity Area, to accommodate the requirement for a proposed new school, among other village related activities.

The Ministry of Education did not proceed with a school within the education area, instead acquiring 3.00ha of residential land within Hanley's Farm at a considerably greater cost.

2.0 DISTRICT PLAN REVIEW PROCESS

The District Plan Review process provided the opportunity to finally achieve one well planned and integrated Village, based on one overall Comprehensive Development Plan.

Jack's Point has been actively involved in this District Plan Review (DPR) that commenced in 2015. This process has proceeded through formal submissions, hearings, and release of the Commissioner's decision.

That decision among other matters, required the Village be developed in accordance with a Comprehensive Development Plan (CDP) to be prepared for the Village and incorporated into the Jacks Point Zone within the Queenstown Lakes District Plan. While Jacks Point supports the idea of a Comprehensive Development Plan, it strongly believes it should truly be comprehensive and extend over all Village development activity areas set within a strong framework of protected green and blue open space and trail networks – aligning the Village with the rest of Jack's Point.

Furthermore, the Commissioner's decision that a Comprehensive Development Plan be included in the District Plan but be introduced at some later date by a new Plan Change was of concern as this would create a further delay of several years while development of the Village continues, but on a piecemeal as opposed comprehensive basis.

Accordingly, Jacks Point lodged an appeal to the Environment Court to resolve these matters.

During the Environment Court Hearing held in September 2020, Jacks Point submitted a draft Comprehensive Development plan that sought to address and solve our matters of concern with the Commissioners decision. In order to more fully consider the draft CDP and its incorporation into the District plan sooner than later, the Environment Court directed Jacks Point to undertake the first step of that process by consulting with the Jacks Point community and other interested parties.

3. PROPOSED VILLAGE COMPREHENSIVE DEVELOPMENT PLAN

The Jack's Point Village Comprehensive Development plan aims to create a vibrant, cohesive environment; with an integrated and inclusive mix of housing types, sizes and households, enclosed pedestrian scale streetscapes with active edges, a varied high-quality design which respects and enhances the materiality and landscape treatments found already within Jack's Point.

The Village should provide for an urban living set within nature and a level of convenience that retains strong connections to the natural, open environment that Jack's Point sits within.

The purpose of the Comprehensive Development Plan is to:

- Provide a clear vision for the future of Jack's Point Village.
- Provide the mechanism to encourage high-quality urban design outcomes throughout the Jacks Point Village
- Establish an integrated and coordinated framework of connected green and blue open space.
- Locate land use precincts in areas that best allow for the successful integration of the resulting built forms with the valued natural character of the 'Village's setting.
- Set clear urban design principles and a framework to establish design controls against which development proposals requiring resource consent will be assessed.

Key benefits of the CDP for Jack's Point Residents, are:

- Provision of approximately 10.00ha of new dedicated community open space on the western edge of Lake Tewa, providing direct community access to the lake which would not exist under the currently approved village plans.
- Provision of a connected network of further Village open spaces (village green, plaza, parks).
- Provision of a further 5km (approx.) of pedestrian and cycle links, providing access to and through the Village connecting to the wider trails network. This includes access to a commuter trail network being explored to connect to Frankton.
- Creation of a Village Beech Forest for amenity and further enhancing the existing vegetation framework of Jack's Point.
- Creation of additional lake space, increasing amenity and opportunities for water-based recreation.
- Creation of spaces dedicated to community facilities.
- Designation of land-use precincts, key pedestrian, and cycle links, providing surety around the location and scale of built form, access (pedestrian, cycle and vehicular) and open spaces. Forever enshrining the benefits listed above for future generations.
- Creation of inclusive, varied in scale and typology, residential environments within the Village creating opportunities for live, work, play.
- Provision of commercial and retail activities to the Jack's Point Community, providing a level of convenience not currently available in the area.
- Continuation of the vision and environment (both built and landscape) that has been created at Jack's Point – through the conception and implementation of the Jack's Point Village Design Guidelines.

3.1 Structure of CDP

The proposed Village Comprehensive Development Plan area is a total of 49.00ha, and can be further described as:

CDP – Land use Precincts:	19.00ha
CDP – Open Space (including streetscapes etc):	30.00ha

The District Plan requires all commercial, community, residential, residential visitor accommodation, homestay, or a visitor accommodation activity within the Jack's Point (V), including the addition, alteration, or construction of associated buildings to obtain resource consent, where those activities are "in accordance with" the CDP incorporated into the District Plan. This list of activities has formed the basis for establishing dedicated land use precincts within the Village. The Land use precincts within the CDP are designed to ensure that uses are in locations that are complimentary to one another, providing for:

Mixed Use:	6.40ha
Residential:	5.00ha
Visitor Accommodation:	6.60ha
Community:	1.00ha
Village Open Space (including streetscapes):	30.00ha

In total, the proposed draft CDP allows for a maximum of **12.00ha** of building site coverage as opposed to the **14.35ha** of building site coverage already permitted within the existing approved development activity areas.

The provision of dedicated open space in the CDP is 30.00ha, as opposed 10.00ha that would otherwise be the result from the current approved development activity areas.

For the activities provided for within the Village by the District Plan to be considered as a controlled activity they are required to be "in accordance with" the CDP and be of sufficient detail to enable the matters of control is to be fully considered. All activities that do not comply with this rule are a Discretionary Activity. To be in accordance with the CDP proposed development is required to satisfy the relevant CDP standards for that precinct (or precincts) and the relevant CDP Plans referenced within each standard.

The related purpose of the CDP is to also establish further detail to enable the matters of control to be fully considered, as required by the District Plan. This further detail is set out within the general design principals, the design objectives, and the design controls for each precinct.

All development/activities undertaken within the CDP Area must comply with (by private covenant) the Jack's Point Village Design Guidelines, which are being prepared in parallel to this CDP process.

3.2 Summary of activities provided for within the Village

Activities that are anticipated for within each land use precinct are listed below.

Mixed-Use Precinct

The Mixed-use Precinct provides for the following activities:

- Visitor Accommodation
- Residential Visitor Accommodation
- Homestays
- Retirement Villages

- Retail Activities located at ground floor level within the areas illustrated as Ground Floor Retail Frontage on the Ground Floor Retail Frontage Plan.
- Within Mixed Use Area **M-9** Commercial activity is restricted to retailing with no limitation on the maximum net floor area to allow for a supermarket.
- Community Activities
- Commercial Activities
- Technology and Innovation based businesses.

Visitor Accommodation Precinct

The Visitor Accommodation precinct provides for the following activities:

- Visitor Accommodation
- Residential Visitor Accommodation
- Homestays
- Retirement Villages
- Premises for the sale and consumption of food and beverages provided they do not exceed 400m² of Public Area

Residential Precinct

The Residential precinct provides for the following activities:

- Residential Activity

Community Precinct

The Community precinct provides for the following activities:

- Health
- Welfare
- Safety
- Education
- Cultural and Spiritual Wellbeing
- Day Care Facilities
- Hospitals
- Doctors Surgeries and other Health Professionals
- Halls
- Libraries
- Community Centres
- Police Purposes
- Fire Stations

Open Space Precinct

The Open Space precinct provides for the following activities:

- Recreation Amenities
- Playgrounds

- Landscaping
- Roads, Vehicle Access, and Parking
- Street Furniture
- EV Charging Stations
- Facilities in support of Pedestrian, Cycle Trails, and Laneways
- Lighting
- Stormwater Retention
- Underground Services

4. BUILDING HEIGHT

Building height within the Village is restricted to 12m (and a total of 3 Storeys), we anticipate that building across the village will range from single - two level buildings on the periphery of the Village, to single level - three level built form within the core of the Village.

5. CAR PARKING

Car parking (permanent resident, visitor, overnight guest) must be provided for on site, by all sub-developments within the Village.

6. PROPOSED LAND SWAPS:

To enable the establishment of the land uses outlined in the CDP such as the Village Common, the existing driving range and holes 1,2,17,18 of the current golf course will be relocated, both meeting the original vision for the golf course and allowing for the provision of large areas of community open space and benefit.

To facilitate this, land swaps may be required to be undertaken that will involve the exchange of parcels of land under JPORA ownership and those that currently form portions of the existing Jacks Point Golf layout that are privately owned.

This will be undertaken on the basis of areas to be agreed by both parties separate to this consultation process.

This land swaps process is subject to the adoption of the CDP into the District plan and will only take place once this has been completed.

JACKS POINT VILLAGE COMPREHENSIVE DEVELOPMENT PLAN

DRAFT

INTRODUCTION

The Comprehensive Development Plan (CDP), along with the plans and standards within it, the Design Guidelines, and relevant provisions of the QLDC District Plan direct and guide all development requiring resource consent in terms of Rule 41.4.2.1 within the Jacks Point Village Activity Area of the Propose District Plan.

This document forms a part of the CDP and establishes the requirements to become in accordance with the CDP. As part of the consideration of the effects of activities requiring consent within the Jacks Point Village Activity Area, this document provides design-based objectives that are intended to guide an assessment of the relevant matters of control.

The Village should provide for urban living set within nature and a level of convenience that retains strong connections to the natural, open environment that Jack's Point sits within.

The Jack's Point Village Comprehensive Development plan is a key planning mechanism to encourage high-quality urban design and implement Policy 41.2.1.19. The Village has been comprehensively planned to ensure activities and built form respect its special landscape setting by careful integration within a wider framework of connected green and blue open space and network of trails.

It should provide a cohesive collection of built forms that create sheltered and sunny open spaces for people to gather and connect. It should provide for a range of lifestyle and employment options to grow and sustain a resilient local community and economy that provides for both local resident and visitor needs now and well into the future.

The built form of the Village should also respect the valued natural character of its setting through the careful siting and organisation of buildings and use of predominantly natural materials and pallet of finishes and colours sympathetic to its wider landscape setting.

The purpose of the Comprehensive Development Plan is to:

- Provide a clear vision for the future of Jack's Point Village.
- Provide the mechanism to encourage high-quality urban design outcomes throughout the Jacks Point Village
- Establish an integrated and coordinated framework of connected green and blue open space.
- Locate land use precincts in areas that best allow for the successful integration of the resulting built forms with the valued natural character of the 'Village's setting.
- Set clear urban design principles and a framework to establish design controls against which development proposals requiring resource consent will be assessed.

The CDP does not authorise physical works, which are to be addressed through subsequent resource consent applications. The CDP intends to provide direction and guidance to applicants and the council when designing and assessing such applications for buildings and development within Jack's Point Village.

Interpretation and Structure of CDP

Rule 41.4.2.1 of the District Plan requires all commercial, community, residential, residential visitor accommodation, homestay, or a visitor accommodation activity within the Jack's Point (V), including the addition, alteration, or construction of associated buildings to obtain resource consent as a controlled activity.

For these activities to fall within the CDP and be considered as a controlled activity, they are required to be in accordance with the CDP and be of sufficient detail to enable the matters of control is to be fully considered. In response to this Rule the CDP allocates land uses according to 'Precincts', including Visitor Accommodation, Mixed Use, Residential, Community and Open Space. Within each precinct are design objectives, a range of 'CDP Standards' and design controls. To be in accordance with the CDP proposed development will be required to satisfy the relevant CDP standards for that precinct (or precincts) and the relevant CDP Plans referenced within each standard.

The CDP Plans comprise of the following:

- Landuse Plan
- Ground Floor Retail Frontage Plan
- Rooding Network Plan
- Pedestrian Network plan
- Cycle Network Plan
- Open Space Network Plan

The related purpose of the CDP is to also establish further detail to enable the matters of control to be fully considered. This further detail is set out within the general design principals, the design objectives, and the design controls for each precinct.

THE COMPREHENSIVE DEVELOPMENT PLAN – DESIGN PRINCIPLES

The following design principles and objectives have informed both the spatial layout of the CDP and the standards that apply.

DESIGN PRINCIPLES

AMENITY

To ensure the existing valued natural character of the village setting is protected or enhanced by appropriate design solutions.

Objectives

- Provide a strong framework of blue and green spaces within which built form can be appropriately located.
- Create attractive, connected nodes of blue and green space to encourage a range of different activities and uses.
- Create sheltered and sunny public spaces through the appropriate location and articulation of built forms.
- Protect or enhance key view shafts to the wider landscape through the appropriate alignment of roads, siting of public spaces and suitable building design.

CONNECTIVITY

To create pedestrian-focused, safe, efficient, and well-connected village environment. The circulation network should provide a wide range of transportation (outside of the motor-vehicle) options and experiences that provide linkages to the wider open space network.

Objectives

- Creation of new trail connections within the Village to provide connectivity with the adjacent Jack's Point Neighbourhoods, open spaces, and the wider Wakatipu Basin. Trail connections should provide for multiple means of non-vehicular related transport (bikes, pedestrian, electric carts, boats, etc).
- Create a pedestrian-focused environment with permeable development blocks that provide connectivity and a sense of discovery throughout the Village.
- Enhance access and interaction on and around Lake Tewa and connected waterbodies.
- Provide an efficient Vehicle network through the Village without impacting the pedestrian environment.

CHARACTER

Create a Village character that reflects its unique mountain setting and celebrates the history and architectural traditions of the site and wider district. The built form and landscape treatment of open spaces should reflect both the natural and cultural values of its wider setting.

Evolve and maintain a common design language through the careful and considered use of raw, natural materials and unity of built forms, building on that which is already present within Jack's Point.

Objectives

- Create a unique pedestrian-friendly waterfront built environment, providing a diverse range of experiences and outdoor activities that encourage interaction with Lake Tewa.
- Outside of the waterfront built environment, protect and enhance the natural character of the lake foreshore.
- Create a range of sheltered and sunny public spaces that cater to both the needs of residents and visitors alike.
- Provide for a higher degree of visual and physical permeability between buildings and open space built forms in and around key public open spaces by the careful siting and density of adjoining built forms.
- Provide for a diverse range of land use activities within the Village to offer a high level of convenience, lifestyle and employment options with a focus on living, visiting, learning, local employment, well being and recreation.
- Provide for a cohesive and concentrated retail area within the Mixed-Use precinct such as the 'Village Main Street' that caters to both the existing and future requirements of the wider local community and visitors.
- Provide land dedicated to meeting community needs and supporting infrastructure.

ENVIRONMENT

To ensure that the natural and built environment is both protected and enhanced. Development should promote and encourage appropriate design solutions to ensure it is sympathetic to the surrounding environment.

Objectives

- Ensure that the water quality of Lake Tewa is protected. Protect the existing night-time ambience through the promotion of low-level light solutions.
- 'Promote the use of sustainable materials and green engineering systems throughout the built environment through the Design Guidelines.
- Outline a direction to ensure the minimisation of passenger vehicle movement within the Village through appropriate, efficient roading networks, hierarchy, and design.
- The support of green building techniques within the Design Guidelines encouraging cleverly designed spaces to allow solar gain, maximise airtightness of the building envelope, natural ventilation and increased insulation contribute to energy conservation and a healthy and comfortable living environment.

CDP STANDARDS

1.2 Village-Wide Standards

1.2.1 Design Objectives

The design objectives below establish further detail relevant to the Village-Wide to enable the matters of control to be fully considered.

- a) Creation of a pedestrian-focused, safe, efficient, and well-connected village environment, the circulation network should provide a wide range of transportation (outside of the motor-vehicle) options and experiences that provide linkages to the wider open space network and the open space network within the Village.
- b) Creation of new trail connections to provide connectivity with the adjacent Jack's Point neighbourhoods, open spaces, and the wider Wakatipu Basin. Trail connections should provide for multiple means of non-vehicular related transport (bikes, pedestrian, electric carts, and boats etc).
- c) Create a pedestrian-focused environment with permeable development blocks that provide for connectivity and a sense of discovery throughout the Village, enhancing the fine-grain nature of the Village.
- d) Enhance access and interaction on and around Lake Tewa and connected waterbodies.
- e) Provide an efficient Vehicle network through the Village without disrupting or dominating the finer grain pedestrian environment.

1.2.2 CDP Standards

The CDP Standards, together with the related CDP Plans detailed below, shall be met for activities to be considered in accordance with the CDP.

CDP Standards	CDP Plans
<p>1.2.2.1 Village-Wide Activities</p> <p>All land use precincts may provide for the following activities:</p> <ul style="list-style-type: none"> - Recreation Amenities - Playgrounds - Landscaping - Roads, Vehicle Access, and Parking - Street Furniture - EV Charging Stations - Facilities in support of pedestrian and cycle trails and laneways - Lighting - Stormwater Retention - Underground Services 	<ul style="list-style-type: none"> - Jacks Point Village – Land Use Plan - Jacks Point Village – Dedicated Pedestrian Path Network - Jacks Point Village – Cycle Network - Jacks Point Village – Road Network Hierarchy - Jacks Point Village- Open Space Network
<p>1.2.2.2 Pedestrian Links</p> <p>Pedestrian links shall be located in accordance with the Pedestrian Network Plan and shall facilitate connections to the wider existing trail networks.</p>	<ul style="list-style-type: none"> - Jacks Point Village – Dedicated Pedestrian Path Network

	Variations to the network connections as shown will be considered providing they meet the intent by continuing to connect key nodes.	
1.2.2.3	Cycle Trails Cycle trails shall be located in accordance with the Cycle Network plan and facilitate connections to the wider existing trail network. Variations to the network connections as shown will be considered providing they meet the intent by continuing to connect key nodes.	– Jacks Point Village – Cycle Network
1.2.2.4	Building Coverage Building coverage shall not exceed a total of 12.00ha, as measured across the mixed-use, residential, visitor accommodation, and community precincts referred to on the 'CDP Land use Plan'	– Jacks Point Village – Land Use Plan

1.3 RESIDENTIAL LANDUSE PRECINCT

1.3.1 Design Objectives

The design objectives below establish further detail relevant to the Residential Precinct to enable the matters of control to be fully considered. The residential precinct should provide a variety of scales and typologies that supports an inclusive living environment. From medium density housing located in nature, single-family plots, to social clusters of residences, through to higher density terraced / apartment living set within landscaped precincts.

Residential development should be focused around communal landscaped spaces with direct connections to trails and non-vehicular movement opportunities, promoting a shift away from reliance on cars.

1.3.2 CDP Standards

The CDP Standards, together with the related CDP Plans detailed below, shall be met for activities to be considered in accordance with the CDP.

	CDP Standards	CDP Plans
1.3.2.1	Activities The following activities may be undertaken within the Residential Precinct: - Residential Activities	– Jacks Point Village - Land Use Plan
1.3.2.2	Building Coverage Within the residential precinct building coverage shall be within the range of 3.00ha to 3.15ha.	– Jacks Point Village – Land Use Plan

1.3.3 Design Controls

The design controls below *establish further detail relevant to the Residential Precinct to enable the matters of control to be fully considered:*

Buildings

- a) Buildings should be designed to Include rich roof forms of varied planes and lines, the profile of the roofline against the sky should have interest and variety, avoiding repetitive rooflines and forms.

Open space

- b) All multi-unit developments must provide for shared or communal open space.

Streetscapes

- c) Communal or grouped car parking, decoupled from individual units, should be explored for multi-unit developments where it could improve streetscape and frontage outcomes or the quality of private outdoor space on the lot.
- d) Laneways typically serve typologies other than apartments. They are primarily for rear access to garages or car parking but also provide an important role in terms of open, communal space within the development.
- e) A high level of landscape amenity should be provided for residents, ensuring garage dominance is avoided.

1.4 MIXED USE LANDUSE PRECINCT

1.4.1 Design Objectives

The design objectives below establish further detail relevant to the Mixed-Use Precinct to enable the matters of control to be fully considered.

The Mixed-Use Precinct aims to create the vibrant centre of Jack’s Point Village, focused around the Main Street (as identified on the Ground Floor Retail Frontage Plan).

The mixed-use precinct should provide active streetscapes that promote a high level of amenity and public realm quality.

Using varied architectural typologies, the mixed-use precincts should read as collections of buildings avoiding monotonous, large built form in order to emphasise a fine grain village character. Built form should emphasise verticality in width and facade treatments.

Laneways and breaks between buildings should feature heavily in these precincts in order to provide fine-grain pedestrian permeability to each precinct, connecting people to the open space network created throughout the Village.

1.4.2 CDP Standards

The CDP Standards, together with the related CDP Plans detailed below, shall be met for activities to be considered in accordance with the CDP.

CDP Standards	CDP Plans
<p>1.4.2.1 Activities</p> <p>The following activities may be undertaken within the Mixed-Use Precinct are:</p> <ul style="list-style-type: none"> - Visitor Accommodation - Residential Visitor Accommodation - Homestays - Retirement Villages 	<p>- Jacks Point Village - Land Use Plan</p>

<ul style="list-style-type: none"> - Retail Activities located at ground floor level within the areas illustrated as Ground Floor Retail Frontage on the Ground Floor Retail Frontage Plan. - Within Mixed Use Area M-9 Commercial activity is restricted to retailing with no limitation on the maximum net floor area to allow for a supermarket. - Community Activities - Commercial Activities - Technology and Innovation based businesses. 	
<p>1.4.2.2 Scale and Location of Commercial Activities</p> <ul style="list-style-type: none"> a) Singular Retail Tenancies within the Village Mixed Use Precinct shall be no greater than 200m², apart from within area (M-9), to allow for a supermarket - no maximum limit on floor area is mandated within this area. b) Any ground floor retail activity/frontage shall be located in accordance with the areas illustrated as 'Ground Floor Retail Frontage' on the Ground Floor Retail Frontage Plan. 	<ul style="list-style-type: none"> - Jacks Point Village - Land Use Plan - Jacks Point Village – Ground Floor Retail Frontage Plan
<p>1.4.2.3 Minimum Ground Floor Height</p> <ul style="list-style-type: none"> a) Within the Mixed-Use Precinct, any ground floor retail activity must have a minimum finished floor to ceiling height of 3.50m for no less than 7.00m from that 'building's street frontage. 	<ul style="list-style-type: none"> - Jacks Point Village - Land Use Plan - Jacks Point Village – Ground Floor Retail Frontage Plan
<p>1.4.2.4 Building Coverage</p> <p>Within the mixed-use precinct building coverage shall be within the range of 3.84ha to 3.99ha.</p>	<ul style="list-style-type: none"> - Jacks Point Village – Land Use Plan

1.4.3 Design Controls

Buildings

- a) Within the areas illustrated as the Main Street Area on the Ground Floor Retail Frontage plan, ground floor use shall be non-residential only.
- b) In cases where the commercial viability of non-residential use cannot be proven, residential units may be appropriate on the ground floor where they are easily adaptable / converted once demand necessitates further retail / commercial activity.
- c) Where Visitor Accommodation activities occur within the Mixed-Use Precinct, they shall be located on upper levels only, with any ground floor activities associated with Visitor Accommodation reserved for lobbies, restaurants, retail and commercial activities and other non-habitable uses that have a high level of engagement with the street frontage.
- d) Ground floor use is restricted to retailing and commercial activity within Mixed Use Precinct M-9.

Streetscapes

- e) Vehicle crossings within the area identified as the Main Street area and shared road on the Road Hierarchy plan shall be restricted to two crossings only providing vehicle access (servicing) to Mixed Use Precincts M-4 and Visitor Accommodation Precinct VA-8.

- f) All laneways should provide or link to a continuous pedestrian connection through the block.

1.5 VISITOR ACCOMMODATION LANDUSE AREAS

1.5.1 Design Objectives

The design objectives below establish further detail relevant to the Visitor Accommodation Precinct to enable the matters of control to be fully considered.

The Visitor Accommodation precinct aims to provide a diverse range of lodging types to reflect a rapidly changing and evolving marketplace.

Provide a broad mix of visitor accommodation opportunities, ensuring that it is an inclusive, rather than exclusive environment for visitors whilst also providing for opportunities for lodging within each season.'

1.5.2 CDP Standards

The CDP Standards, together with the related CDP Plans detailed below, shall be met for activities to be considered in accordance with the CDP.

CDP Standards		CDP Plans
1.5.2.1	<p>Activities</p> <p>Activities allowed for within the Visitor Accommodation Precinct are:</p> <ul style="list-style-type: none"> - Visitor Accommodation - Residential Visitor Accommodation - Homestays - Retirement Villages - Premises for the sale and consumption of food and beverages provided they do not exceed 400m² of Public Area 	- Jacks Point Village - Land Use Plan
1.5.2.2	<p>Commercial Activities within the Visitor Accommodation Precinct</p> <p>Commercial Activity within the Visitor accommodation precinct is restricted to premises for the sale of Food and 'Beverage's only.</p>	- Jacks Point Village - Land Use Plan
1.5.2.3	<p>Building Coverage</p> <p>Within the visitor accommodation precinct building coverage shall be within the range of 3.96ha to 4.11ha.</p>	- Jacks Point Village – Land Use Plan

1.5.3 Design Controls

In order to ensure the most creative response in the built outcomes for the Visitor Accommodation precinct, limited building controls are proposed.

Buildings

- a) Buildings should engage positively with the Lake edge and may skew their orientation to make the most of views, sunlight and to maximise permeability/lakeside access for pedestrians.
- b) The front or street-facing façade of a large scale or multi-unit building such as a hotel should be articulated in a way that visually diminishes the overall bulk of the building and provides balanced proportion and scale relative to height. The expression of verticality should be prioritised over horizontality.

"Streetscapes

- c) Drop off and pick up areas associated with accommodation need careful consideration to ensure they form an integrated part of the streetscape or laneway and do not compromise the pedestrian experience.
- d) It is important that grouped car parking does not have a negative impact on the streetscape, surrounding precincts and neighbourhoods. It should be located behind buildings, away from corners and feature landscape buffers wherever possible.

1.6 COMMUNITY PRECINCT

1.6.1 Design Objectives

The design objectives below establish further detail relevant to the Community Precinct to enable the matters of control to be fully considered.

The Community Precinct is a consolidated area (1ha) designed to accommodate a range of Community Activities relating to health care, education, cultural and spiritual wellbeing, emergency services, and civic functions.

1.6.2 CDP Standards

The CDP Standards, together with the related CDP Plans detailed below, shall be met for activities to be considered in accordance with the CDP.

CDP Standards	CDP Plans
<p>1.6.2.1 Activities</p> <p>Activities allowed for within the Community Precinct area are:</p> <ul style="list-style-type: none"> - Health - Welfare - Safety - Education - Cultural and Spiritual Wellbeing - Day Care Facilities - Hospitals - Doctors Surgeries and other Health Professionals - Halls - Libraries - Community Centres - Police Purposes - Fire Stations 	<p>- Jacks Point Village - Land Use Plan</p>
<p>1.6.2.2 Building Coverage</p> <p>Within the community precinct building coverage shall be within the range of 0.6ha to 0.75ha.</p>	<p>- Jacks Point Village – Land Use Plan</p>

1.6.3 Design Controls

Buildings

- a) Building designs are encouraged to be distinctive. However, it is important that building design still expresses that they are clearly within Jack's Point Village in relation to materiality and form.

Open Spaces

- b) Provide linkages to surrounding parts of the zone in accordance with the Pedestrian Network Plan.

Streetscapes

- c) Community activities with a higher level of demand for vehicles shall be located where possible to have direct access onto the roading network, ensuring separation from pedestrian-focused activities such as community buildings.
- d) Passive surveillance is critical to achieving a safe and active street environment.
- e) Provide traffic safety and calming treatments such as islands, medians, and crossings to aid pedestrian connectivity.

1.7 OPEN SPACE PRECINCT

1.7.1 Design Objectives

The design objectives below establish further detail relevant to the Open Space Precinct to enable the matters of control to be fully considered.

The Open Space Precinct of the Village should create an interconnected network of open spaces, public realm, and environments that are the most critical and important aspects of the Village.

A network of roads, pedestrian and cycle linkages should efficiently connect these spaces through the use of on and off-street cycle lanes, pedestrian laneways and linkages, primary and secondary vehicle movement corridors, shared streets, and public boardwalks on the waterfront.

The open space precinct should build on the revegetation framework already present at Jack's Point, utilising similar materiality and plant species.

The Open Space precinct should provide for a range of different spaces, activities, experiences and uses:

- Boardwalks
- Beaches
- Wetlands – Assisting in the management of Stormwater, protecting the water quality of Lake Tewa
- Native Revegetation
- Parks / Commons
- Urban Plazas
- Active Streetscapes – consisting of activities
- Private Residential Streetscapes

1.7.2 CDP Standards

The CDP Standards together with the related CDP Plans detailed below shall be met for activities to be considered in accordance with the CDP.

CDP Standards	CDP Plans
<p>1.7.2.1 Activities</p> <p>The range of activities allowed for within the Open Space Precinct are:</p> <ul style="list-style-type: none"> - Recreation Amenities - Playgrounds - Landscaping - Roads, Vehicle Access, and Parking - Street Furniture - EV Charging Stations - Facilities in support of Pedestrian, Cycle Trails, and Laneways - Lighting - Stormwater Retention - Underground Services 	<ul style="list-style-type: none"> - Jacks Point Village - Land Use Plan
<p>1.7.2.2 Road Hierarchy</p> <p>All roads shall be in general accordance with the objectives below for each hierarchy as identified on the Road Hierarchy Plan (CDP-017.05).</p>	<ul style="list-style-type: none"> - Jacks Point Village – Road Network Hierarchy

1.7.3 Design Controls

- a) Develop a predominantly pedestrian and cycle-friendly character within Jacks Point Village.
- b) Provide bus stops located in accordance with the Road Hierarchy Plan.

Primary Roads

- c) The key design parameters for Primary Roads are:
 - Cycle lanes should run separated from the Vehicle movement corridor where possible.
 - Primary Streets should be low speed (20 – 30km).
 - Electric Vehicle Charging should be provided for along the primary road frontage.
 - Legal Width: 15.00 - 20.00m
 - Movement Corridor Widths: 7.00m minimum (3.50m lane either side)
 - Footpath Widths: 2.50m minimum
 - Car Parking: Either side of road corridor, interchangeable.

Secondary Streets

- d) The key design parameters for Secondary Roads are:
 - Cycle lanes may be shared within the road corridor or separated where spatially possible.
 - Legal Width: 15.00m

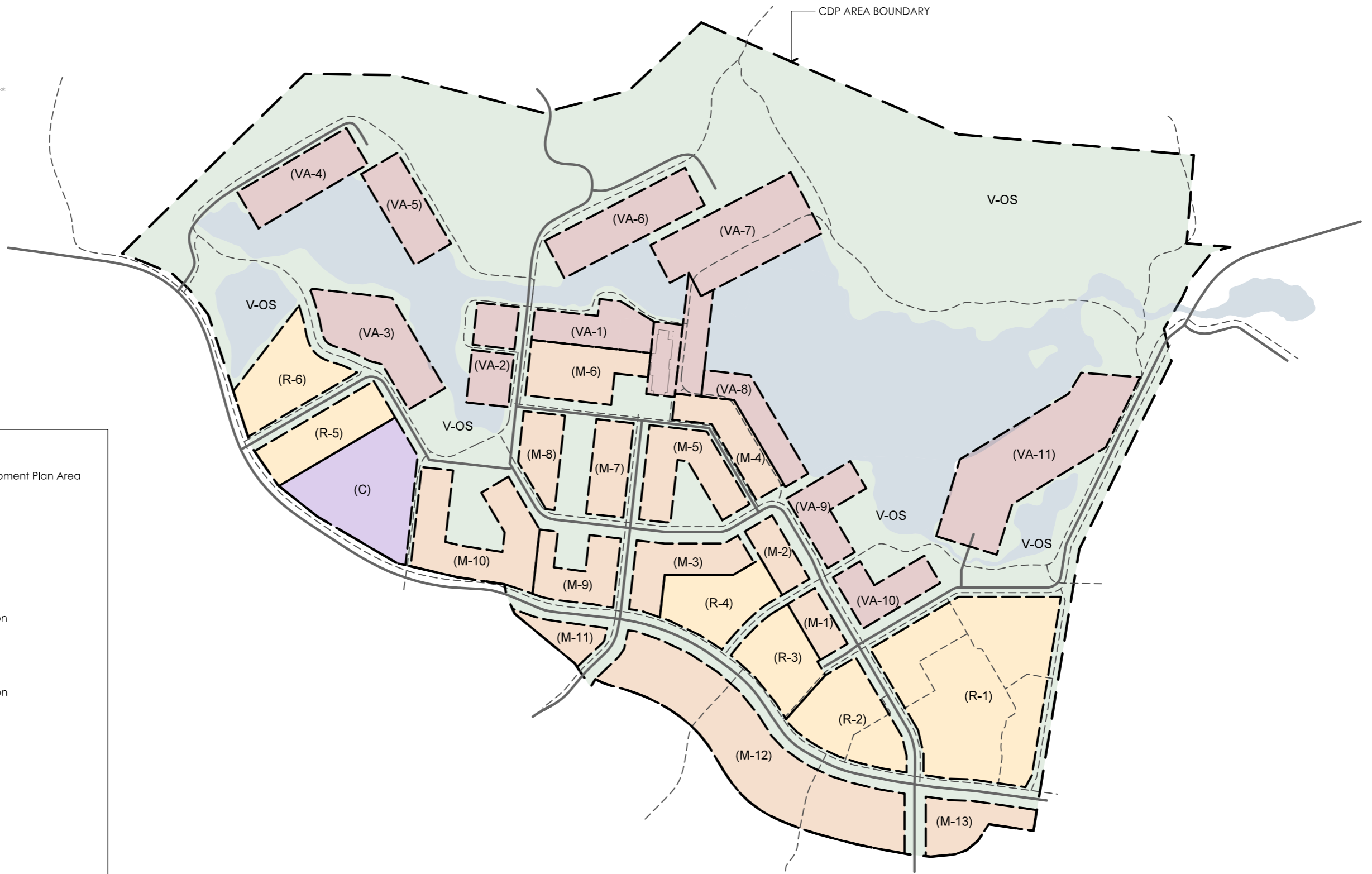
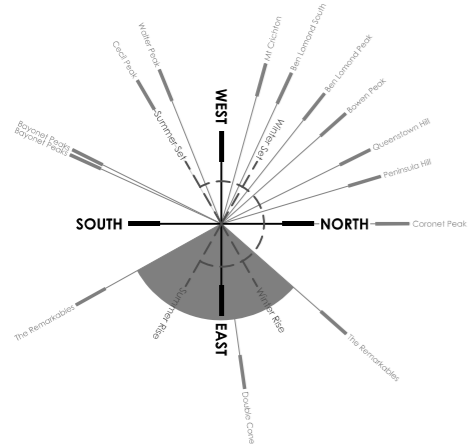
- Movement Corridor Widths: 5.60m to 7.00m maximum.
- Footpath Widths: 1.50m minimum
- Car Parking: Either side of road corridor

Shared Streets

- e) The key design parameters for Shared Roads are:
- Legal Width: 7.50m to 10.00m
 - Movement Corridor Widths: 3.50m (one way) to 5.60m (two way)
 - Footpath Widths: Remainder of corridor width, can include landscaping.
 - Car Parking: No requirement.

JACKS POINT VILLAGE COMPREHENSIVE DEVELOPMENT PLAN – PLANS

- Landuse Plan
- Ground Floor Retail Frontage Plan
- Roading Network Plan
- Pedestrian Network plan
- Cycle Network Plan
- Open Space Network Plan



KEY:

- Proposed Village Comprehensive Development Plan Area (49.00ha)
- Proposed Pedestrian and Cycle Network
- Proposed Rooding Network
- Landuse Precincts

(VA)= Visitor Accommodation
 (M)= Mixed Use
 (R)= Residential
 (C)= Community Facilities
 (V-OS)= Open Space

- Land Use Precinct - Visitor Accommodation 6.60ha
- Land Use Precinct - Mixed Use 6.40ha
- Land Use Precinct - Residential 5.00ha
- Land Use Precinct - Community 1.00ha
- Land Use Precinct - Open Space 30.00ha
- Land Use Precincts Total 49.00ha**

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DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz

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CONSULTANTS:

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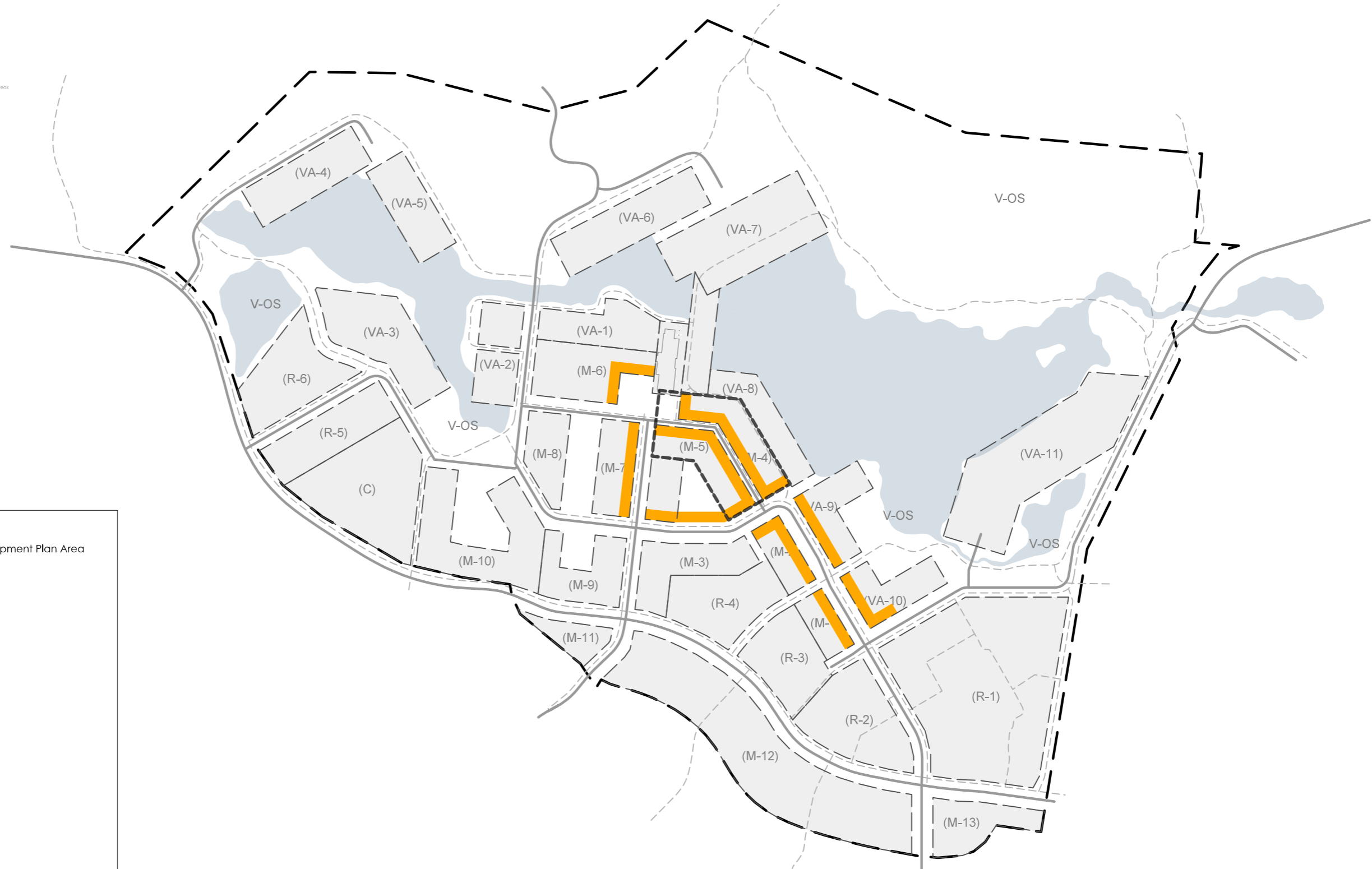
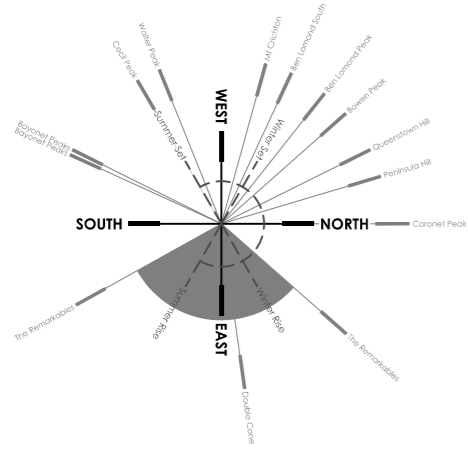
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DATE	DRAWN	REVIEWED	APPROVED
16.02.21	JG	-	-
19.03.21	TG	-	-

JACKS POINT VILLAGE - CDP
 STATUTORY PLAN
 LAND USE PLAN

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-010** REV: **A**



KEY:

- Proposed Village Comprehensive Development Plan Area
- Proposed Land Use Precincts
- Road Network
- Pedestrian/ Cycle Network
- Main Street Area
- Ground Floor Retail Frontage

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DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz

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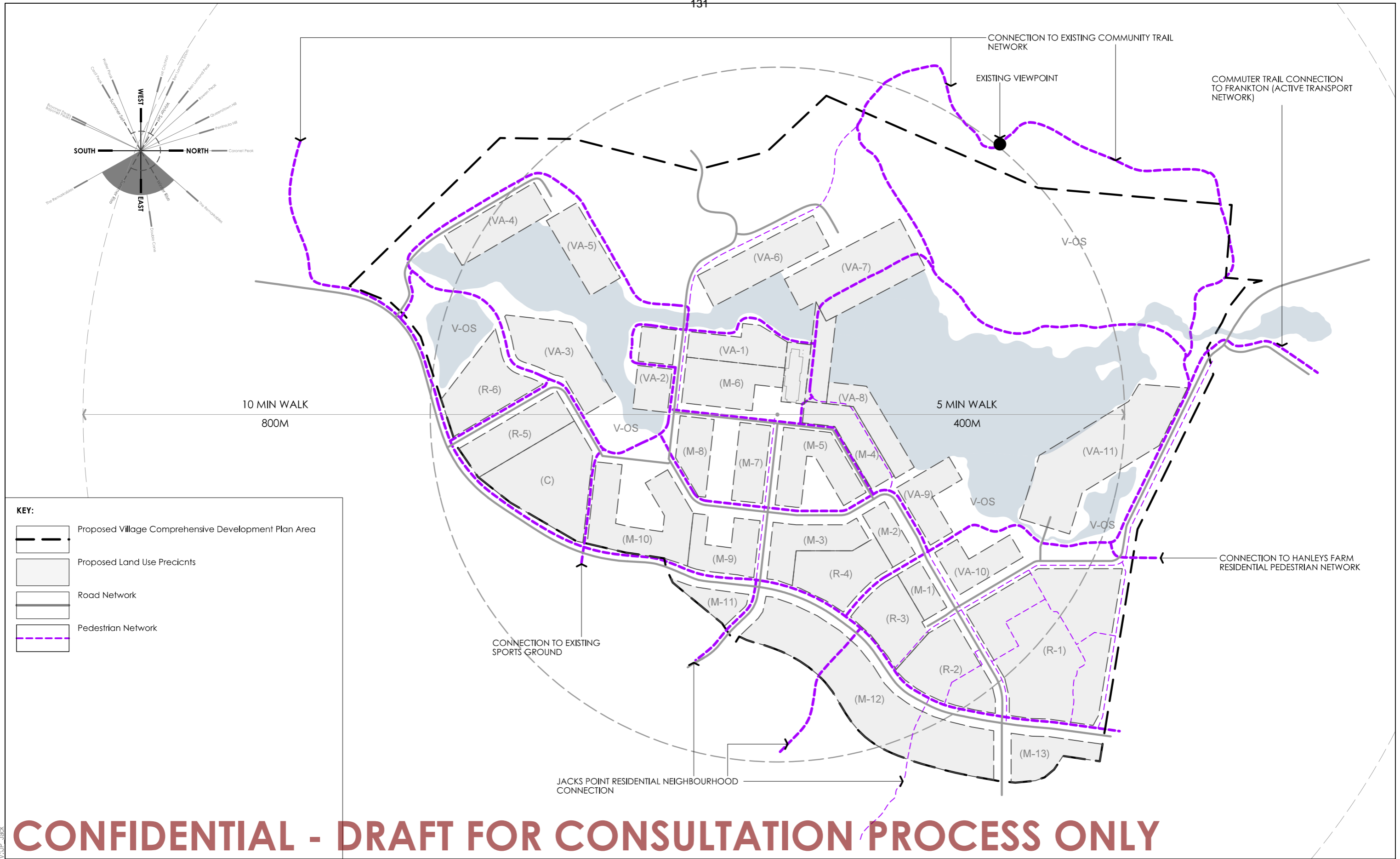
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NO	DESCRIPTION	DATE	DRAWN	REVIEWED	APPROVED
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JACKS POINT VILLAGE - CDP
 STATUTORY PLAN
 GROUND FLOOR RETAIL FRONTAGE PLAN

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-017.01** REV: **A**



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DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz

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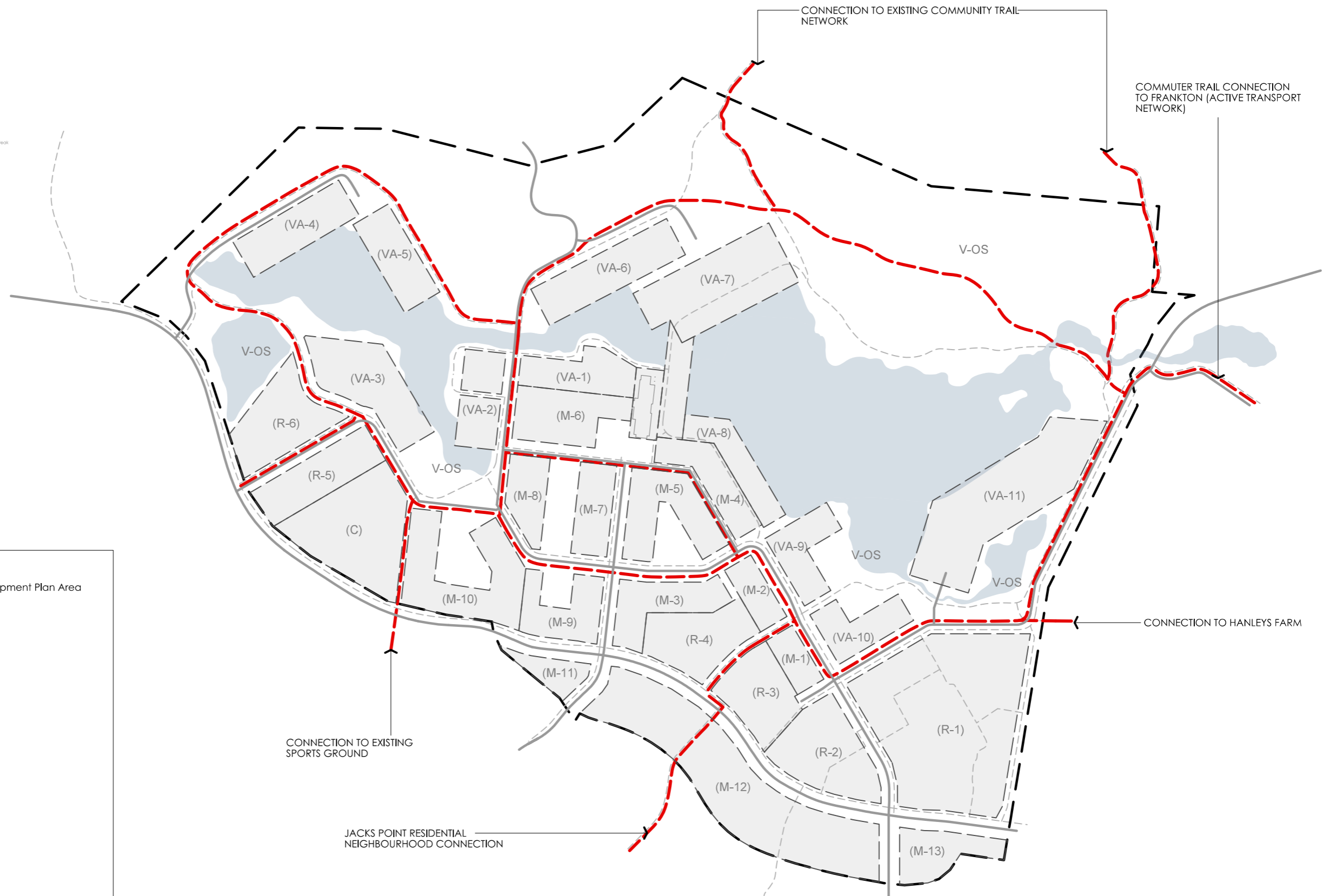
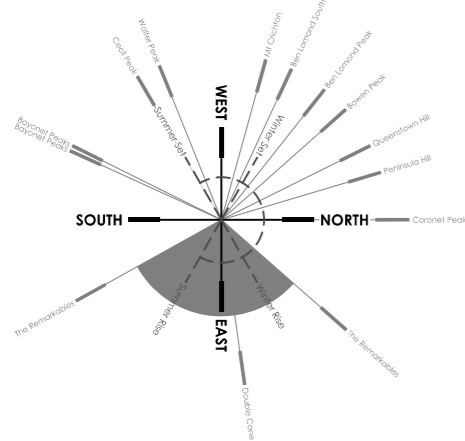
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NO	DESCRIPTION	16.02.21	JG	-	-
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JACKS POINT VILLAGE - CDP
 STATUTORY PLAN
 PEDESTRIAN NETWORK

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-017.02** REV: **A**



KEY:

- Proposed Village Comprehensive Development Plan Area
- Proposed Land Use Precincts
- Road Network
- Pedestrian/ Cycle Network
- Cycle Network

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DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
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 Tel +64 3 450 2200 Fax +64 3 441 1451
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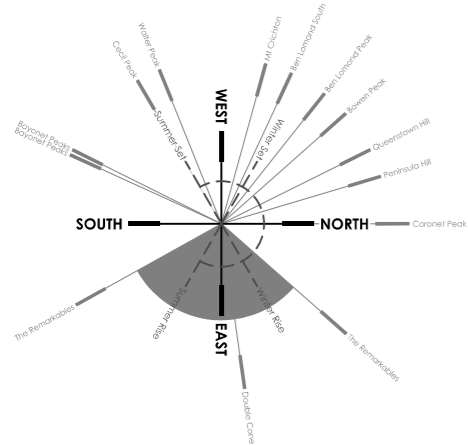
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A	For Information Only	19.03.21	TG	-	-

JACKS POINT VILLAGE - CDP
 STATUTORY PLAN
 CYCLE NETWORK

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-017.03** REV: **A**



- KEY:**
- Proposed Village Comprehensive Development Plan Area
 - Proposed Land Use Precincts
 - Main Street Area
 - Primary Road
 - Secondary Road
 - Shared Road
 - Bus Stop (Existing)
 - Bus Stop (Proposed)

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DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz

SCALE: 1:2000 (A1): 1:4000 (A3)

 CONSULTANTS:

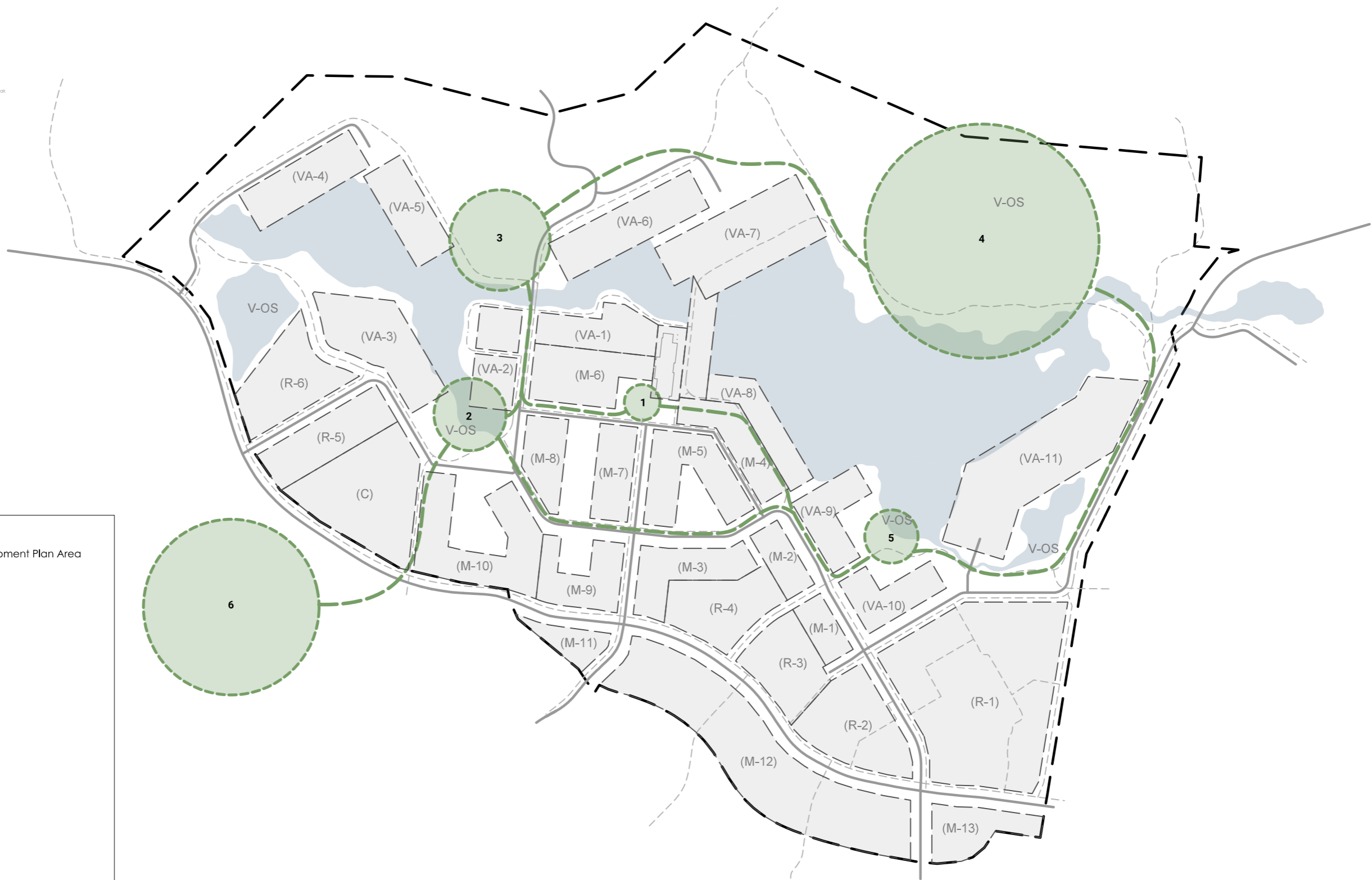
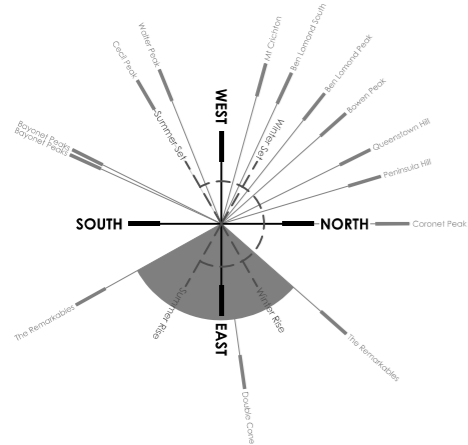
NOTES:
 These drawings are indicative only and subject to design refinement through consultation process. Drawings may not be shared externally.

REVISION:

NO	DESCRIPTION	DATE	DRAWN	REVIEWED	APPROVED
-	For Information Only	16.02.21	JG	-	-
A	For Information Only	19.03.21	TG	-	-

JACKS POINT VILLAGE - CDP
 STATUTORY PLAN
 ROAD NETWORK AND HIERARCHY

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-017.04** REV: **A**



KEY:

- Proposed Village Comprehensive Development Plan Area
- Proposed Land Use Precincts
- Road Network
- Pedestrian/ Cycle Network
- Open Space Network
 - 1. Village Square
 - 2. Village Park and Wetland
 - 3. Village Waterfront Park
 - 4. Village Lakeside 'Common'
 - 5. Village Green
 - 6. QLDC Sports Field

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 info@darbypartners.co.nz
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 - For Information Only
 A For Information Only

NO	DESCRIPTION	DATE	DRAWN	REVIEWED	APPROVED
-	For Information Only	17.02.21	JG	-	-
A	For Information Only	19.03.21	TG	-	-

JACKS POINT VILLAGE - CDP
 STATUTORY PLAN
 OPEN SPACE NETWORK

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-017.05** REV: **A**

PART 6

JACKS POINT 41

41 Jacks Point

Please Note: Variations to parts of this chapter have been decided by Council on 7 March 2019 as part of Stage 2 of the PDP. You can view the Stage 2 Decisions, appeals and section 274 notices on our website. The appeal and section 274 periods for the Stage 1 and 2 Decisions have closed.

41.1 Zone Purpose

The purpose of the Jacks Point Zone is to provide for residential, rural living, commercial, community and visitor accommodation in a high quality sustainable environment comprising residential areas, two mixed use villages and a variety of recreation opportunities and community benefits including access to public open space and amenities.

The village areas and associated residential activities at Jacks Point will be sustainable in their nature, constituting mixed density development, best practice methods of waste disposal and longevity in their quality and built form. The preparation of development controls and non-regulatory design guidelines, in conjunction with provisions of the District Plan and other methods, will ensure provision for the social, economic and cultural wellbeing of the wider community, while also assisting in ecological enhancement and the seamless integration of the built and natural environment.

In addition, the zoning anticipates an 18-hole championship golf course, a luxury lodge, small-scale commercial activities, provision for community facilities, craft and winery activities, outdoor recreation and enhanced access to and enjoyment of Lake Wakatipu.

41.2 Objectives and Policies

41.2.1 Objective - The establishment of an integrated community, incorporating residential living, visitor accommodation, community, and small-scale commercial activities with appropriate regard for landscape and visual amenity values, and within a framework of open space and recreation amenities.

Policies

General - Zone Wide

- 41.2.1.1 Require activities to be located in accordance with the Structure Plan (41.7) to establish the spatial layout of development within the zone and diversity of living and complementary activities, taking into account:
- a. integration of activities;
 - b. landscape and amenity values;
 - c. road, open space and trail networks;
 - d. visibility from State Highway 6 and from Lake Wakatipu.
- 41.2.1.2 Provide public access from the State Highway to the lake foreshore and to facilitate increased use and enjoyment of the margin and waters of Lake Wakatipu.
- 41.2.1.3 Provide safe and efficient road access from State Highway 6.

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- 41.2.1.4 a. Ensure subdivision and development incorporates the design elements shown on the Structure Plan, namely roads, road connections, open space, access connections and trails.
- b. Ensure the efficient provision of servicing infrastructure, roading and vehicle access.
- c. Ensure efficient provision of sewage disposal, water supply and refuse disposal services which do not adversely affect water quality or other environmental values.
- 41.2.1.5 Control the take-off and landing of aircraft within the zone.
- 41.2.1.6 Avoid industrial activities.
- 41.2.1.7 Maintain and protect views into the Jacks Point Zone of a predominantly rural and open character when viewed from the lake, and to maintain and protect views across the site to the mountain peaks beyond the lake when viewed from the State Highway.

Residential

- 41.2.1.8 a. Provide for a diversity of living accommodation, including opportunities for farm and rural living at low densities.
- b. Provide for medium density and small lot housing subject to ensuring the scale and form of built development provides an appropriate standard of residential amenity and design.
- 41.2.1.9 Require that any conventional low density residential development in the Residential Hanley Downs (R(HD)) and Jacks Point (R(JP)) Activity Areas be offset by higher density residential development and common open spaces in order to achieve efficient use of land and infrastructure.
- 41.2.1.10 Maintain or enhance the character and amenity values that exist in the established Jacks Point Residential Activity Areas (R(JP)) as at 31 August 2016, including the high standard of design and landscape elements incorporated into communal open space areas, transport corridors and private lots, and lower average densities compared to the Hanley Downs Residential Activity Areas.
- 41.2.1.11 Enable medium density housing development within the established Jacks Point Residential Activity Areas (R(JP)) subject to the scale and form of built development being appropriate to the character of the Activity Area.
- 41.2.1.12 Recognise the (Hanley Downs) Residential Activity Areas (R(HD)) as being appropriate to accommodate residential development at a greater scale and intensity than elsewhere in the zone.
- 41.2.1.13 Apply residential development controls to protect privacy and amenity, provide access to sunlight, to achieve design cohesion, and to provide appropriate opportunities outdoor living, consistent with the residential density anticipated in that Activity Area.
- 41.2.1.14 Enable commercial activities on primary roads within the Hanley Downs Residential Activity Areas (R(HD)) of a scale limited to servicing the needs of the local community.
- 41.2.1.15 Provide for predominantly low density residential development in the Residential - State Highway Activity Areas ((R(HD-SH) and (R(JP-SH))), and appropriately mitigated through landscaping and the provision of open space.

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- 41.2.1.16 Ensure that residential development in the Jacks Point Zone does not dominate views from the State Highway and that any adverse visual impacts are mitigated through landscaping, building design and provision of open space.

Villages and Education

- 41.2.1.17 a. Enable the Jacks Point Village Activity Area (V(JP)) to develop as the vibrant mixed use hub of the Jacks Point Zone, comprising a range of activities including:
- i. high and medium density residential housing;
 - ii. a small local shopping centre that services the needs of Jacks Point residents and provides for small scale destination shopping and office space;
 - iii. visitor accommodation;
 - iv. education facilities, community activities, healthcare, and commercial recreation activities;
 - v. technology and innovation-based business.
- b. Enable the Homestead Bay Village Activity Area (V(HB)) to develop as a secondary commercial and mixed use centre supporting aquatic activities and the needs of residential activity around Homestead Bay.
- 41.2.1.18 Enable commercial and community activities and visitor accommodation in the Jacks Point Village (V(JP)) and Homestead Bay Village (V(HB)) Activity Areas, provided residential amenity, health, and safety are protected or enhanced through:
- a. compatible hours of operation and noise;
 - b. a high standard of building design;
 - c. the location and provision of open space, buffers and setbacks;
 - d. appropriate landscape mitigation;
 - e. efficient design of vehicle access and car parking; and
 - f. an appropriate scale of activity, and form of building development.
- 41.2.1.19 Encourage high quality urban design throughout the Jacks Point Village (V(JP)) and Homestead Bay Village (V(HB)) Activity Areas by:
- a. requiring all subdivision and development to be in accordance with a Comprehensive Development Plan incorporated in the District Plan, which shall establish an integrated and coordinated layout of open space; built form; roading patterns; pedestrian, cycle access, and carparking; the land uses enabled within the buildings; streetscape design; design controls in relation to buildings and open space; and an appropriate legal mechanism to ensure their implementation;
 - b. requiring the street and block layouts and the bulk, location, and design of buildings to minimise the shading of public spaces and to avoid the creation of wind tunnels;
 - c. encouraging generous ground floor ceiling heights for commercial buildings that are relatively consistent with others in the village; and
 - d. encouraging the incorporation of parapets, corner features for landmark sites, and other design elements in order to achieve a positive design outcome and providing for

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a 3 storey building height in the Jacks Point Village Activity Area and 2 storey commercial building height in the Homestead Bay Village Activity Area.

~~e. Enable the development of education and associated activities and day care facilities within the Education Activity (E) Area, subject to achieving a high standard of urban design.~~

Open Space

- 41.2.1.20 Recognise the important contribution that the open space areas that adjoin the residential and village areas make to the identity, character, amenity, and outlook of the Jacks Point Zone for residents and visitors.
- 41.2.1.21 Avoid all buildings in the Open Space Golf (OSG) and Open Space Residential Amenity (OSA) Activity Areas other than ancillary small scale recreational buildings on the same site as the activity it is ancillary to, and that are of a design that is sympathetic to the landscape.
- 41.2.1.22 Provide for farming and associated activities, while ensuring that the scale of building and other development associated with those activities does not result in over-domestication of the landscape.
- 41.2.1.23 Enable mining activities within the Open Space Golf (OSG) Activity Area for the development of the Jacks Point Zone provided the adverse environmental effects of the activity are managed.
- 41.2.1.24 Provide for local biodiversity through:
- a. the protection and enhancement of existing ecological values, in a holistic manner;
 - b. reduction in grazing around wetland areas; and
 - c. the provision of links between grey shrublands, wetlands and the lakeshore escarpment, including indigenous vegetation links between Activity Areas where appropriate.
- 41.2.1.25 Ensure that development within the ecologically sensitive areas of the zone results in a net environmental gain.
- 41.2.1.26 Ensure that subdivision, development and ancillary activities within the Tablelands Landscape Protection Area maintain the character of the landscape.
- 41.2.1.27 Ensure substantial native revegetation of the gully within the Open Space Foreshore (OSF) Activity Area within Homestead Bay and the Homesite (HS) Activity Areas.
- 41.2.1.28 Encourage native planting of the Open Space Activity Areas (OSF, OSL and OSG).
- 41.2.1.29 Provide for the development of lakeside activities and low density residential development in the Homestead Bay area, in a manner which complements and enhances amenity values.

Lodge

- 41.2.1.30 To provide for visitor accommodation and ancillary facilities within the Lodge (L) Activity Areas in a manner that does not adversely affect the open character and amenity of the surrounding Open Space Golf (OSG) Activity Areas.

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Attention is drawn to the following District Wide chapters.

1 Introduction	2 Definitions	3 Strategic Direction
4 Urban Development	5 Tangata Whenua	6 Landscapes and Rural Character
25 Earthworks	26 Historic Heritage	27 Subdivision
28 Natural Hazards	29 Transport	30 Energy and Utilities
31 Signs	32 Protected Trees	33 Indigenous Vegetation
34 Wilding Exotic Trees	35 Temporary Activities and Relocated Buildings	36 Noise
37 Designations	Planning Maps	

41.3.2 Interpreting and Applying the Rules

- 41.3.2.1 Any activity which is not provided for within the list of activities below or which is not provided a specific activity status through any other rule within Rule 41.4 Tables 1 - 5 'Activities located in Jacks Point Zone' shall be a discretionary activity.
- 41.3.2.2 The existence of a farm building either permitted or approved by resource consent under Rule 41.5.4.10 shall not be considered the permitted baseline for residential or other non-farming activity development within the Open Space Activity Areas of the Jacks Point Zone.
- 41.3.2.3 Where provisions refer to the Structure Plan, this shall be taken to mean the Structure Plan contained in Rule 41.7 and Rule 41.4 (Rules – Activities) and Rule 41.5 (Standards for Activities). References to the Structure Plan and to Activity Areas are references to the Jacks Point Zone Structure Plan and the Activity Areas identified on that Structure Plan.
- 41.3.2.4 A permitted activity must comply with all the rules listed in the Activity and Standards tables, and any relevant district wide rules.
- 41.3.2.5 Where an activity does not comply with a Standard in Rule 41.5 the Activity Status identified by the Non-Compliance Status column shall apply. Where an activity breaches more than one Standard, the most restrictive status shall apply to the Activity.
- 41.3.2.6 The following abbreviations are used within this Chapter.
- | | | |
|-----------------|------------------|-----------------------------|
| P Permitted | C Controlled | RD Restricted Discretionary |
| D Discretionary | NC Non-Complying | PR Prohibited |
- 41.3.2.7 Rule 33.5.2 does not apply within the Jacks Point Zone.

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41.4 Rules – Activities

Table 1	Activities Located in the Jacks Point Zone	Activity Status
41.4.1	Residential Activity (R) Areas and the Rural Living Activity Area	
	Residential Activities Areas (R)	P
41.4.1.1	Residential activities – all Residential Activities Areas unless specified otherwise.	
	Residential State Highway Activity Areas R(SH)	P
41.4.1.2	Residential activities and works for the visual mitigation of the effects of development as viewed from the State Highway	
	Rural Living (RL) Activity Area	C
41.4.1.3	Residential activities. Control is reserved to: <ul style="list-style-type: none"> a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; b. the adequacy of infrastructure and servicing; c. the effects of associated earthworks and landscaping; d. access and parking provision; e. the bulk and location of buildings; f. the effects of exterior lighting. 	
	Residential R(HD) Activity Areas	C
41.4.1.4	Educational and Day Care Facilities. Control is reserved to: <ul style="list-style-type: none"> a. the location and external appearance of buildings; b. setback from roads; c. setback from internal boundaries; d. traffic generation, access and parking; e. provision of outdoor space; f. street scene including landscaping; g. provision for walkways, cycle ways and pedestrian linkages; h. potential noise impacts; i. infrastructure and servicing, including traffic effects. 	

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Table 1	Activities Located in the Jacks Point Zone	Activity Status
	<p>41.4.1.5 Residential Activity Areas R(HD) A – E, R(HD-SH) 1, and R(HD-SH)-3</p> <p>Any residential activity which results in either:</p> <p>three or more attached residential units; or</p> <p>a. density of more than one residential unit per 380 m² of net site area.</p> <p>Discretion is restricted to:</p> <p>a. external appearance;</p> <p>b. access and car parking;</p> <p>c. traffic generation effects;</p> <p>d. associated earthworks;</p> <p>e. landscaping;</p> <p>f. effects on adjacent sites that are not part of the medium density residential development being applied for;</p> <p>g. bulk and location;</p> <p>h. legal mechanisms proposed in relation to building bulk and location.</p> <p>Except that this rule shall not apply to residential units located on sites smaller than 380m² created pursuant to subdivision rule 27.7.5.2.</p>	RD
	<p>Residential R(JP) 1 - 3 and R(JP-SH) 4 Activity Areas</p> <p>41.4.1.6 Any residential activity which results in either:</p> <p>three or more attached residential units; or:</p> <p>a. density of more than one residential unit per 380 m² of net site area.</p> <p>Discretion is restricted to:</p> <p>a. external appearance;</p> <p>a. residential amenity values;</p> <p>b. access and car parking;</p> <p>c. associated earthworks.;</p> <p>d. landscaping;</p> <p>e. effects on adjacent sites that are not part of a medium density residential development subject to the application;</p>	RD

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Table 1	Activities Located in the Jacks Point Zone	Activity Status
	<ul style="list-style-type: none"> f. bulk and location; g. legal mechanisms proposed in relation to building bulk and location. 	
	<p>Residential R(HD)A - D and R(SH-HD)1 - 3 Activity Areas</p> <p>41.4.1.7 Commercial activities and Community activities including the addition, alteration or construction of associated buildings.</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. location, scale and external appearance of buildings; b. setback from roads; c. setback from internal boundaries; d. vehicle access, street layout and car parking; e. street scene including landscaping; f. enhancement of ecological and natural values; g. provision for walkways, cycle ways and pedestrian linkages; h. scale of the activity; i. noise; j. hours of operation. <p>Except that this rule shall not apply to:</p> <ul style="list-style-type: none"> a. a single residential unit on any site contained within a separate computer freehold register; b. residential units located on sites smaller than 380 m² created pursuant to subdivision rules 27.5.5 or 27.7.5.2. 	RD
	<p>Residential R(HD)- E Activity Area</p> <p>41.4.1.8 Commercial activities, community activities, and visitor accommodation including the addition, alteration or construction of associated buildings.</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. location, scale and external appearance of buildings; b. setback from roads; c. setback from internal boundaries; d. traffic generation; e. vehicle access, street layout and car parking; 	RD

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Table 1	Activities Located in the Jacks Point Zone	Activity Status
	<ul style="list-style-type: none"> f. street scene including landscaping; g. enhancement of ecological and natural values; h. provision for walkways, cycle ways and pedestrian linkages; i. scale of the activity; j. noise; k. hours of operation. 	
	<p>All Residential (R) Activity Areas and Rural Living (RL) Activity Area</p> <p>41.4.1.9 Residential Visitor Accommodation and Homestays</p>	P

Table 2	Activities Located in the Jacks Point Zone – Village and Education Activity Areas	Activity Status
41.4.2	Village and Education (V)(JP) and V(HB) and (E) Activity Areas	
	<p>Village Activity (V) and V(HB) <u>Activity</u> Area</p> <p>41.4.2.1 Any commercial, community, residential, residential visitor accommodation, homestay, or visitor accommodation activity within the Jacks Point (V) or Homestead Bay (HB) Village Activity Areas, including the addition, alteration or construction of associated buildings, provided the application is in accordance with a Comprehensive Development Plan incorporated in the District Plan, which applies to the whole of the relevant Village Activity Area and is sufficiently detailed to enable the matters of control listed below to be fully considered.</p> <p>Control is reserved to:</p> <ul style="list-style-type: none"> a. the layout and orientation of built form, open spaces, roading pattern, car parking, and pedestrian and cycle access; b. the bulk, location and external appearance of buildings and associated including the creation of active frontages adjacent to roads and public spaces; c. the density and location of any proposed residential activity; d. the location of any proposed commercial and community activity; e. landscaping; f. streetscape design; g. the formulation of design controls in relation to buildings, open space, and streetscapes and an appropriate legal mechanism to ensure their implementation; h. the adequate provision of storage and loading/ servicing areas; 	C

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Table 2	Activities Located in the Jacks Point Zone – Village and Education Activity Areas	Activity Status
	i. traffic effects.	
	<p>Education (E) Activity Area</p> <p>41.4.2.2 Educational and Day Care Facilities.</p> <p>Control is reserved to:</p> <p>a. location and external appearance of buildings;</p> <p>b. setback from roads;</p> <p>c. setback from internal boundaries;</p> <p>d. provision of outdoor space;</p> <p>e. street scene including landscaping;</p> <p>f. provision for walkways, cycle ways and pedestrian linkages;</p> <p>g. noise;</p> <p>h, j. infrastructure and servicing, including traffic effects.</p>	E

Table 3	Activities Located in the Jacks Point Zone – Lodge Activity Area	Activity Status
41.4.3	Lodge (L) Activity Areas – L(1), L(2) and L(P)	
	<p>Lodge Activity Areas (L)(1) and L(2)</p> <p>41.4.3.1 Visitor accommodation activities, restaurants, and conference facilities.</p> <p>Lodge Activity Area (L)(P)</p> <p>41.4.3.2 Parking associated with visitor accommodation activities, restaurants and conference facilities undertaken within L(1) and L(2).</p>	P
	<p>Buildings</p> <p>41.4.3.3 Buildings (including the addition, alteration or construction of buildings).</p> <p>Discretion is restricted to:</p> <p>a. the external appearance of buildings with respect to the effect on visual and landscape values of the area;</p> <p>b. infrastructure and servicing;</p> <p>c. associated earthworks and landscaping;</p> <p>d. access and parking;</p> <p>e. bulk and location;</p>	RD

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Table 3	Activities Located in the Jacks Point Zone – Lodge Activity Area	Activity Status
	f. exterior lighting.	
	<p>41.4.3.4 Any tennis court (including fencing) located within Lodge Area 2, and any outdoor swimming pool (including fencing) located within any Lodge Area (except spa pools less than 9m² and located within any Lodge Activity Area) provided:</p> <ul style="list-style-type: none"> i. the tennis court surfaces are either dark green or grey in colour; and ii. any tennis court fencing is chain mesh or similar, and grey in colour. <p>Control is reserved to:</p> <ul style="list-style-type: none"> a. associated earthworks and landscaping; b. colour; c. fencing, including any glare resulting from the location and orientation of glass pool fencing. 	C
	41.4.3.5 Any tennis court (including fencing) located within Lodge Area 2 and any outdoor swimming pool (including fencing) located within any Lodge Area that does not comply with Rule 41.4.3.4(i) and (ii), with discretion restricted to those matters listed in Rule 41.4.3.4 (a) - (c).	RD
	41.4.3.6 Except as provided for in Rules 41.4.3.4 and 41.4.3.5, any outdoor tennis court located within the Lodge Activity Areas.	NC

Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
41.4.4	Open Space (OS) and Homesite (HS) Activity Areas	
	Open Space Golf (OSG) Activity Area	
	41.4.4.1 Indigenous revegetation and outdoor recreation activities, including the development and operation of golf courses, associated earthworks, green keeping, driving range, administrative offices associated with golf, sales, and commercial instruction.	P
	Open Space Golf (OSG) Activity Area, except within the Lake Shore Landscape Protection Area	
	<p>41.4.4.2 Any administrative offices and buildings ancillary to outdoor recreation activities.</p> <p>Control is reserved to:</p> <ul style="list-style-type: none"> a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; 	C

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Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
	<ul style="list-style-type: none"> b. the adequacy of Infrastructure and servicing; c. the effects of associated earthworks and landscaping; d. access and parking provision; e. the bulk and location of buildings; f. the effects of exterior lighting. 	
	<p>Open Space Golf (OSG) Activity Area</p> <p>41.4.4.3 Any buildings within a Landscape Protection Area, or any buildings other than administrative offices and buildings ancillary to outdoor recreation activity; and any activities other than those specified under Rules 41.4.4.2 and 41.4.4.4.</p>	D
	<p>Open Space Golf (OSG) Activity Area</p> <p>41.4.4.4 The mining of rock and aggregate and/or gravel for use anywhere within the Jacks Point Zone.</p>	D
	<p>Open Space Landscape (OSL) Activity Area</p> <p>41.4.4.5 Pastoral and arable farming, endemic revegetation, and pedestrian and cycle trails.</p>	P
	<p>Open Space Landscape (OSL) (Highway Buffer) Activity Area</p> <p>41.4.4.6 Sheep farming, endemic revegetation, and pedestrian and cycle trails.</p>	P
	<p>Open Space Landscape (OSL) Activity Area</p> <p>41.4.4.7</p> <ul style="list-style-type: none"> a. Any building within a Landscape Protection Area; b. Any building other than a building ancillary to farming activity. 	D
	<p>Any farm building other than within a Landscape Protection Area.</p> <p>41.4.4.8 Control is reserved to:</p> <ul style="list-style-type: none"> a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; b. the adequacy of Infrastructure and servicing; c. the effects of associated earthworks and landscaping; d. access and parking provision; e. the bulk and location of buildings; f. the effects of exterior lighting. 	C
	<p>Open Space Residential Amenity (OSA) Activity Area</p>	

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Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
	41.4.4.9 Recreation amenities, playgrounds, landscaping, pedestrian and cycle trails, lighting, stormwater retention, and underground services.	P
	Open Space Residential Amenity (OSA) Activity Area 41.4.4.10 Any buildings ancillary to outdoor recreation activity. Control is reserved to: a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; b. the adequacy of Infrastructure and servicing; c. the effects of associated earthworks and landscaping; d. access and parking provision; e. the bulk and location of buildings; f. the effects of exterior lighting.	C
	Open Space Residential Amenity (OSA) Activity Area 41.4.4.11 Any building other than those ancillary to outdoor recreation activity.	D
	Open Space – Horticultural (OSH) Activity Area 41.4.4.12 Horticultural activities and accessory buildings and activities, and residential activities.	D
	Open Space – Residential (OSR) Activity Areas 41.4.4.13 OSR South No more than 39 residential units. 41.4.4.14 OSR North No more than 10 residential units.	D
	Open Space Boating Facilities Activity Area OS (BFA) 41.4.4.15 A double boat ramp, jetty, a weather protection feature or breakwater, a boat shed and associated boat/trailer/car parking and public facilities, provided that all facilities are available for public use. Discretion is restricted to: a. effects on natural character; b. effects on landscape and amenity values; c. effects on public access to and along the lake margin; d. external appearance, colours and materials;	RD

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Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
	e. location.	
	<p>Open Space Wetland (OSW) Activity Area</p> <p>41.4.4.16 Structures restricted to those necessary to develop pedestrian access (e.g. boardwalks), fences, or other structures relating to the protection and enhancement of biodiversity and ecological values.</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. bulk and location; b. lighting; c. biodiversity values (temporary during construction and long term); d. external appearance (including colour and materials); e. amenity values; f. stormwater disposal; and g. landscaping in relation to any structures. 	RD
	<p>Homesite (HS) Activity Area</p> <p>41.4.4.17 No more than one residential building located within a Homesite (HS) Activity Area.</p> <p>Control is reserved to:</p> <ul style="list-style-type: none"> a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; b. infrastructure and servicing; c. associated earthworks and landscaping; d. access and parking; e. bulk and location; f. exterior lighting; g. the protection and enhancement of the wetland areas adjacent to the Homesite (HS) Activity Area; h. the implementation and maintenance of the comprehensive vegetation plan. 	C
	<p>41.4.4.18 Any tennis court (including fencing) and any outdoor swimming pool (including fencing) located within a Homesite Area (except spa pools less than 9m²) provided:</p> <ul style="list-style-type: none"> i. the tennis court surfaces are either dark green or grey in colour; and 	C

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Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
	<ul style="list-style-type: none"> ii. any tennis court fencing is chain mesh or similar, and grey in colour. <p>Control is reserved to:</p> <ul style="list-style-type: none"> a. associated earthworks and landscaping; b. colour; c. fencing, including any glare resulting from the location and orientation of glass pool fencing. 	
	41.4.4.19 Any tennis court (including fencing) and any outdoor swimming pool (including fencing) located in a Homesite Area that does not comply with Rule 41.4.4.18(i) and (ii), with discretion restricted to those matters listed in Rule 41.4.4.18 (a) - (c).	RD
	41.4.4.20 Except as provided for in Rules 44.4.4.18 and 44.4.4.19, any outdoor tennis court located within a Homesite Area or the Tablelands Landscape Protection Area.	NC
	Open Space Foreshore (OSF) Activity Area	
	41.4.4.21 The regeneration of native endemic species and retention of open space	P

Table 5	Activities Located in the Jacks Point Zone – Zone Wide Activities	Activity Status
41.4.5	Jacks Point Zone – Zone Wide Rules	
	<p>41.4.5.1 Sale of Liquor</p> <p>Premises licensed for the sale of liquor (including both off-licenses and on- licenses). Except this rule does not apply within the Mixed-Use and Visitor Accommodation precincts of the Village V(JP) Activity Area Comprehensive Development Plan.</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. location; b. scale of the activity; c. residential amenity values; d. noise; e. hours of operation; f. car parking and vehicle generation. 	RD
	41.4.5.2 State Highway Mitigation	C

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Table 5	Activities Located in the Jacks Point Zone – Zone Wide Activities	Activity Status
	<p>Mitigation works undertaken within the location shown on the Structure Plan.</p> <p>Control is reserved to:</p> <ul style="list-style-type: none"> a. the creation of a comprehensively designed landscape edge to the northern part of the zone within the OSA and R (HD – SH) 1 Activity Areas; b. mitigation of the visual impacts of potential buildings when viewed from State Highway 6 through earth contouring and vegetation (at maturity), within Activity Areas R(HD-SH) – 1 and R(HD-SH)- 2 and RHD-SH) 3; c. maintaining views across the zone to the mountains located against the western shores of Lake Wakatipu; d. appropriate plant species, height at planting and at maturity; and e. provision for on-going maintenance and ownership. 	
41.4.5.3	<p>Aircraft</p> <ul style="list-style-type: none"> a. Emergency landings, rescues, firefighting and activities ancillary to farming activities; b. Informal Airports limited to the use of helicopters. c. The establishment and operation of Airport Activity or Aerodrome other than those allowed by Rules 41.4.5.3(a) and 41.4.5.3(b), including Informal Airports used by fixed wing aircraft. 	<p>P</p> <p>D</p> <p>NC</p>
41.4.5.4	Factory Farming	NC
41.4.5.5	<p>Forestry activity, including plantation forestry within an OSL or ONL.</p> <p>For any Plantation Forestry outside an OSL or ONL the Resource Management (Resource Management (National Environmental Standard for Plantation Forestry) Regulation 2017 shall prevail.</p> <p>All forestry activities, excluding harvesting of forestry which existed as at 31 August 2016.</p>	NC
41.4.5.6	<p>Mining Activities</p> <p>With the exception of the mining of rock and/or aggregate and/or gravel provided for by Rule 41.4.4.4.</p>	NC
41.4.5.7	Industrial Activities	NC
41.4.5.8	Landfill	NC

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Table 5	Activities Located in the Jacks Point Zone – Zone Wide Activities	Activity Status
	41.4.5.9 Panelbeating, spraypainting, motor vehicle, repair or dismantling fibreglassing, sheet metal work, bottle or scrap storage, motorbody building, fish or meat processing.	PR
	41.4.5.10 Any activity requiring an Offensive Trade Licence under the Health Act 1956.	PR

41.5 Rules - Activity Standards

Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status																																				
41.5.1	Residential Activity Area																																					
	<p>Density</p> <p>41.5.1.1 The average density of residential units within each of the Residential Activity Areas shall be as follows:</p> <table border="0"> <tr><td>R(JP) – 1</td><td>13 – 19 per Ha</td></tr> <tr><td>R(JP) – 2A</td><td>14 – 33 per Ha</td></tr> <tr><td>R(JP) – 2B</td><td>14 – 15 per Ha</td></tr> <tr><td>R(JP) – 3</td><td>14 per Ha</td></tr> <tr><td>R(JP-SH) – 1</td><td>10 per Ha</td></tr> <tr><td>R(JP-SH) – 2</td><td>9 per Ha</td></tr> <tr><td>R(JP-SH) – 3</td><td>5 – 27 per Ha</td></tr> <tr><td>R(JP-SH) – 4</td><td>5 – 12 per Ha</td></tr> <tr><td>R(HD-SH) – 1</td><td>12 – 22 per Ha</td></tr> <tr><td>R(HD-SH) – 2</td><td>2 – 10 per Ha</td></tr> <tr><td>R(HD-SH) – 3</td><td>12-22 per Ha</td></tr> <tr><td>R(HD) – A</td><td>17 – 26 per Ha</td></tr> <tr><td>R(HD) – B</td><td>17 – 26 per Ha</td></tr> <tr><td>R(HD) – C</td><td>15 -22 per Ha</td></tr> <tr><td>R(HD) – D</td><td>17 – 26 per Ha</td></tr> <tr><td>R(HD) – E</td><td>25 – 45 per Ha</td></tr> <tr><td>R(HD) – F</td><td>2 – 10 per Ha</td></tr> <tr><td>RL – 1, 2, 3</td><td>2 per Ha</td></tr> </table> <p>Density shall be calculated on the net area of land available for development and excludes land vested or held as reserve, open space, public access routes or roading and excludes sites used for non-residential activities. Within the Residential Areas of Hanley Downs, if part of an Activity Area is to be developed or subdivided, compliance must be achieved within that part and measured cumulatively with any preceding subdivision or development which has occurred with that Activity Area. Within the Jacks Point Residential Activity Areas, density shall be calculated and applied to the net area of land across the whole Activity Area, as defined in 41.5.1.1 above.</p>	R(JP) – 1	13 – 19 per Ha	R(JP) – 2A	14 – 33 per Ha	R(JP) – 2B	14 – 15 per Ha	R(JP) – 3	14 per Ha	R(JP-SH) – 1	10 per Ha	R(JP-SH) – 2	9 per Ha	R(JP-SH) – 3	5 – 27 per Ha	R(JP-SH) – 4	5 – 12 per Ha	R(HD-SH) – 1	12 – 22 per Ha	R(HD-SH) – 2	2 – 10 per Ha	R(HD-SH) – 3	12-22 per Ha	R(HD) – A	17 – 26 per Ha	R(HD) – B	17 – 26 per Ha	R(HD) – C	15 -22 per Ha	R(HD) – D	17 – 26 per Ha	R(HD) – E	25 – 45 per Ha	R(HD) – F	2 – 10 per Ha	RL – 1, 2, 3	2 per Ha	<p>RD</p> <p>Discretion is restricted to:</p> <ol style="list-style-type: none"> residential amenity values; traffic, access, parking; adequacy of infrastructure.
R(JP) – 1	13 – 19 per Ha																																					
R(JP) – 2A	14 – 33 per Ha																																					
R(JP) – 2B	14 – 15 per Ha																																					
R(JP) – 3	14 per Ha																																					
R(JP-SH) – 1	10 per Ha																																					
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R(HD-SH) – 2	2 – 10 per Ha																																					
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R(HD) – C	15 -22 per Ha																																					
R(HD) – D	17 – 26 per Ha																																					
R(HD) – E	25 – 45 per Ha																																					
R(HD) – F	2 – 10 per Ha																																					
RL – 1, 2, 3	2 per Ha																																					
	<p>41.5.1.2 Building Height</p> <p>The maximum height of buildings shall be:</p>	NC																																				

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Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<ul style="list-style-type: none"> a. Residential (R) Activity Areas 8m b. Rural Living Activity Areas 5m c. All other buildings and structures 4m 	
	<p>41.5.1.3 Notwithstanding Rule 41.5.1.2, where</p> <ul style="list-style-type: none"> a. any medium density residential housing development has been consented under Rules 41.4.1.5 or 41.4.1.6; or b. on sites smaller than 380m² created by subdivision; <p>The maximum height of buildings may exceed the maximum height stated in Rule 41.5.1.2, up to a maximum of 3 storeys or 10m (whichever is lesser).</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. visual dominance; b. external appearance; c. the scale and extent of building portions that exceed three stories or 10m.
	<p>41.5.1.4 Recession Planes (applicable to flat sites only)</p> <p>Within the R(HD) and R(HD-SH) Activity Areas: In addition to the maximum height of buildings specified under Rule 41.5.1.2, buildings shall comply with the following recession plane requirements:</p> <ul style="list-style-type: none"> a. No part of any building shall protrude through the following recession lines inclined towards the site at. <ul style="list-style-type: none"> i. Northern Boundary: 55 degrees; ii. Western and Eastern Boundaries: 45 degrees; iii. Southern Boundaries: 35 degrees; <p>Commencing at:</p> <ul style="list-style-type: none"> iv. 3.5m above ground level at any given point along any internal site boundary up to a distance of 12m from a rear internal boundary; and v. 2.5m above ground level at any given point along any internal site boundary within 12m of a rear internal boundary or any internal site boundary of a rear site; <p>Except that within the Residential Hanley Downs (R (HD)) Activity areas, this rule shall not apply to:</p> <ul style="list-style-type: none"> i. Sites smaller than 380m² created by subdivision; ii. A medium density residential development consented under Rule 41.4.1.5; b. In addition to a. above and notwithstanding the height limit of accessory buildings imposed by Rule 41.5.18(i), the maximum height of any part of a building located within 2m of an internal boundary is 4m. <p>c. Application of recession line rules – clarification:</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. privacy effects; b. access to sunlight and the impacts of shading; c. effects upon access to views of significance; d. visual dominance and external appearance.

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Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<p>i. Gable end roofs may penetrate the building recession plane by no more than one third of the gable height;</p> <p>d. A recession line restriction shall not apply to accessory buildings nor common walls shared at a boundary and parts of buildings that do not extend beyond the length of that wall.</p> <p>Advice Notes: Refer to Definitions for detail of the interpretation of recession planes, rear sites, and flat sites.</p> <p>For corner sites, being sites that have a frontage to more than one road, the shortest internal site boundary shall be considered the rear internal boundary.</p>	
	<p>Window Sill Heights</p> <p>41.5.1.5 Within the R(HD) and the R(HD-SH) Activity Areas, window sill heights above the first storey shall not be set lower than 1.5m above the floor level where the external face of the window is within 4m of an internal site boundary, except where buildings face reserves or where opaque glass is used for windows.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. privacy effects.</p>
	<p>41.5.1.6 Building Coverage</p> <p>a. on any site within the R(JP), R(JP-SH) Activity Areas, buildings shall not exceed a maximum site coverage of 45%; and</p> <p>b. (on any site within the R(HD) and R(HD-SH) Activity Areas, buildings shall not exceed a maximum site coverage of 50%.</p> <p>Except that:</p> <p>Residential activity in the R(JP), R(JP-SH), R(HD), and R(HD-SH) Activity Areas consented under Rule 41.4.6 (medium density residential development) or under Rule 27.7.5.2 or 27.5.5, shall not exceed a maximum site coverage of 60%.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. urban design;</p> <p>b. effects on amenity values for neighbours;</p> <p>c. the character of the Activity Area;</p> <p>d. stormwater management.</p>
	<p>41.5.1.7 Building Setbacks (except in the Residential Hanley Downs area)</p> <p>Buildings for all activities, except for buildings located on sites created pursuant to subdivision Rules 27.5.17, shall be subject to the following minimum setback rules:</p> <p>a. two setbacks of 4.5m, with all remaining setbacks of 2m; or</p> <p>b. one setback of 6m, one setback of 3.5m and all other setbacks of 2m;</p> <p>Except that:</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. bulk, height and proximity of the building façade to the boundary;</p> <p>b. the impact on neighbours'</p>

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Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<ul style="list-style-type: none"> i. any residential unit may encroach into a setback by up to 1m for an area no greater than 6m² provided the component of the building infringing the setback has no windows or openings; ii. accessory buildings for residential activities, including garages, may encroach into the setback where they are no more than 3.5m in height and where no windows or openings are orientated toward an internal boundary; iii. no setbacks are required when buildings share a common wall at the boundary. 	<ul style="list-style-type: none"> amenity values; c. loss of daylight; d. access to sunlight.
	<p>41.5.1.8</p> <p>a. In the Residential (Hanley Downs) Activity Areas, buildings for all activities, except for buildings located on sites smaller than 380m² and created pursuant to subdivision Rule 27.7.5.2, shall be subject to the following minimum setback rules:</p> <ul style="list-style-type: none"> i. one internal setback of 3m; ii. a road set back of at least 3m, provided that any garage is set back at least 4.5m from the road boundary; iii. for sites fronting a single road and with a frontage exceeding 12.5m, one internal setback of 1.5m from an internal boundary that intersects with a road boundary; and iv. all remaining internal setbacks of 1m; and all remaining internal setbacks on rear sites of 1.5m. <p>Except that:</p> <ul style="list-style-type: none"> i. Accessory buildings for residential activities, including garages, may encroach into any 1m internal setback described in 41.5.1.8(a)(iv) where the buildings are no more than 3.5m in height and where no windows or openings are orientated toward an internal boundary; ii. The eaves of any residential unit may encroach into the setback by no more than 400mm; iii. No setbacks are required when buildings share a common wall at the boundary. 	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. bulk, height and proximity of the building façade to the boundary; b. the impact on neighbours' amenity values; c. shading and access to sunlight.
	<p>Retail Activities</p> <p>41.5.1.9 Retail activities within the R(HD) Activity Areas shall be located within 120 metres of the Primary Road shown on the Structure Plan or within 120 metres of its final formed location.</p>	NC
	<p>41.5.1.10 The total gross floor area of all commercial activities, excluding associated car parking, in the R(HD)A - E Activity Areas shall not exceed 550m² across all Activity Areas.</p>	NC
	State Highway Noise	RD

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Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<p>41.5.1.11 Any residential activities located within 80 m of the seal edge of State Highway 6, shall be designed and constructed to meet noise performance standards for noise from traffic on the State Highway that will not exceed 35dBA Leq(24 hour) in bedrooms and 40 dBA (Leq (24 hour) for other habitable rooms in accordance with the satisfactory sound levels recommended by Australian and New Zealand Standard AS/NZ2107:2000 Acoustics Recommended design sound levels and reverberation times for building interiors.</p>	<p>Discretion is restricted to:</p> <p>a. residents' health and residential amenity.</p>
	<p>Planting – Jacks Point Residential Activity Areas</p> <p>41.5.1.12 On any site within a Residential Jacks Point R (JP) Activity Area at least 75% of all trees and shrubs planted shall be from the species identified on the Jacks Point plant list contained within Part 41.8. Percentages are in terms of overall plant numbers.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. any effects on nature conservation values;</p> <p>b. effects on landscape character and visual amenity.</p>
	<p>41.5.1.13 Residential Visitor Accommodation</p> <p>41.5.1.13.1 Must be limited to one residential unit or residential flat per site not exceeding a cumulative total of 42 nights occupation by paying guests on a site per 12 month period.</p> <p>41.5.1.13.2 Must not generate any vehicle movements by heavy vehicles, coaches or buses to and from the site.</p> <p>41.5.1.13.3 Must comply with the minimum parking requirements for a residential unit and/or residential flat (whichever is used for the residential visitor accommodation activity) in Chapter 29 Transport.</p> <p>41.5.1.13.4 The Council must be notified in writing prior to the commencement of a Residential Visitor Accommodation activity.</p> <p>41.5.1.13.5 Up to date records of the Residential Visitor Accommodation activity must be kept, including a record of the date and duration of guest stays and the number of guests staying per night, and in a form that can be made available for inspection by the Council at 24 hours' notice.</p> <p>41.5.1.13.6 Smoke alarms must be provided in accordance with clause 5 of the Residential Tenancies (Smoke Alarms and Insulation) Regulations 2016.</p> <p>Note: The Council may request that records are made available to the Council for inspection at 24 hours' notice, in order to monitor compliance with rules 41.5.1.13.1 to 41.5.1.13.6.</p>	<p>D</p>

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Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	41.5.1.14 Homestay	D
	41.5.1.14.1 May occur within either an occupied residential unit or an occupied residential flat on a site, and must not occur within both on a site.	
	41.5.1.14.2 Must not exceed 3 paying guests on a site per night.	
	41.5.1.14.3 Must comply with minimum parking requirements of standard 29.8.9 in Chapter 29 Transport.	
	41.5.1.14.4 Must not generate any vehicle movements by heavy vehicles, coaches or buses to and from the site.	
	41.5.1.14.5 The Council must be notified in writing prior to the commencement of a Homestay activity.	
	41.5.1.14.6 Up to date records of the Homestay activity must be kept, including a record of the number of guests staying per night, and in a form that can be made available for inspection by the Council at 24 hours' notice.	
	Note: The Council may request that records are made available to the Council for inspection at 24 hours' notice, in order to monitor compliance with rules 41.5.1.14.1 to 41.5.1.14.6.	

Table 7	Standards for activities located in the Jacks Point Zone - Village and Education Activity Areas	Non-compliance Status
41.5.2	Village and Education Activity Areas	
	Scale of Commercial Activity	D
	41.5.2.1 The maximum net floor area for any single commercial activity (as defined in chapter 2) shall be 200m ² . For the purpose of Rule 41.5.2.1, commercial activities are as defined in Chapter 2, but excludes markets, showrooms, professional, commercial and administrative offices, service stations, and motor vehicle sales.	
	Building Coverage 41.5.2.2 On any site within the (E) Activity Area, buildings shall not exceed a maximum site coverage of 45%.	RD Discretion is restricted to: urban design; effects on amenity values for neighbours (particularly in adjoining residential activity areas) and the character of the (E) Activity Area;

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Table 7	Standards for activities located in the Jacks Point Zone – Village and Education Activity Areas	Non-compliance Status
		stormwater management.
	<p>41.5.2.441.5.2.3 Within the Jacks Point Village JP(V) Activity Area the maximum building coverage, calculated across the total Activity Area, shall not exceed 60%.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. urban design; b. effects on amenity values for neighbours and the character of the Activity Area; c. stormwater management.
	<p>Building coverage in the Homestead Bay Village</p> <p>41.5.2.541.5.2.4 Within the Homestead Bay V(HB) Activity Area, the maximum building coverage, calculated across the total Activity Area, shall not exceed 60%.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. urban design; b. effects on amenity values for neighbours and the character of the Activity Area; c. stormwater management.
	<p>Building Height</p> <p>41.5.2.641.5.2.5 The maximum height of buildings shall be:</p> <ul style="list-style-type: none"> a. Homestead Bay Village (V-HB) Activity Area 10m b. Jacks Point Village (V-JP) Activity Area 12m and comprising no more than 3 storeys c. Education Precinct (E) Activity Area 10m d. all other buildings and structures 4m 	<p>NC</p>
	<p>Residential Units</p> <p>41.5.2.741.5.2.6 In the V(HB) Activity Area, no residential units may be constructed until 80% of the freehold land within the Open Space Foreshore Activity Area has been planted with native endemic species</p>	<p>NC</p>

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Table 8	Standards for activities located in the Jacks Point Zone – Lodge Activity Area	Non-compliance Status
41.5.3	Lodge Activity Areas	
	<p>Building Setback</p> <p>41.5.3.1 In Lodge Activity Area denoted as L(P) on the Structure Plan, buildings and structures shall be set back a minimum of 10m from the activity area boundary.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. the outdoor car parking areas with respect to the effects on visual and landscape values; b. the effectiveness of mounding and planting at screening buildings and car parking and the shape and design of earthworks, including their relationship to existing landforms.
	<p>Building Height</p> <p>41.5.3.2 In the Lodge (L) Activity Areas, the maximum height of any building shall be 5.0m.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. visual dominance; b. external appearance; c. the scale and extent of the portions that exceed 5m.
	<p>41.5.3.3 In the Lodge (L) Activity Area, the maximum height of any building shall be 7.5m.</p>	NC

Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status
41.5.4	Open Space (OS) and Homesite (HS) Activity Areas	
	<p>41.5.4.1 Boundaries of Open Space Activity Areas</p> <p>The boundaries of Open Space Activity Areas are shown indicatively and may be varied by up to 20m and the exact location and parameters are to be established through the subdivision process. Development prior to such subdivision occurring, which would preclude the creation of these open spaces, shall be contrary to this rule.</p>	D
	Open Space - Subdivision	D

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Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status																																																																												
	41.5.4.2 Within any open space area created by subdivision, in accordance with (Rules 41.5.4.1 and 27.7.5.1), there shall be no building.																																																																													
	<p>Building Coverage – Homesite (HS) Activity Area</p> <p>41.5.4.3 Within any Homesite (HS) Activity Area, buildings shall not exceed a total building footprint of 1,000m² within each homesite.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. the external appearance of buildings with respect to the effect on visual and landscape values of the area.; b. associated earthworks and landscaping; c. bulk and location; d. visibility of the building from State Highway 6 and Lake Wakatipu. 																																																																												
	<p>Building height relative to ground level – Homesite (HS) Activity Area</p> <p>41.5.4.4 The maximum height for any building shall be 5m above the datum level specified for each Homesite, as follows:</p> <table border="0" data-bbox="363 1227 778 1697"> <thead> <tr> <th>Homesite</th> <th>Datum (mas)</th> <th>Homesite</th> <th>Datum (mas)</th> </tr> </thead> <tbody> <tr><td>HS1</td><td>372.0</td><td>HS19</td><td>372.0</td></tr> <tr><td>HS2</td><td>381.0</td><td>HS20</td><td>377.2</td></tr> <tr><td>HS3</td><td>381.0</td><td>HS21</td><td>372.5</td></tr> <tr><td>HS4</td><td>377.0</td><td>HS22</td><td>374.0</td></tr> <tr><td>HS5</td><td>388.0</td><td>HS23</td><td>371.5</td></tr> <tr><td>HS6</td><td>382.0</td><td>HS24</td><td>372.4</td></tr> <tr><td>HS7</td><td>379.0</td><td>HS25</td><td>373.0</td></tr> <tr><td>HS8</td><td>386.5</td><td>HS26</td><td>378.1</td></tr> <tr><td>HS9</td><td>389.0</td><td>HS27</td><td>388.0</td></tr> <tr><td>HS10</td><td>395.0</td><td>HS28</td><td>392.6</td></tr> <tr><td>HS11</td><td>396.0</td><td>HS29</td><td>385.5</td></tr> <tr><td>HS12</td><td>393.0</td><td>HS30</td><td>395.9</td></tr> <tr><td>HS13</td><td>399.0</td><td>HS31</td><td>393.7</td></tr> <tr><td>HS14</td><td>403.0</td><td>HS32</td><td>384.8</td></tr> <tr><td>HS15</td><td>404.0</td><td>HS33</td><td>385.8</td></tr> <tr><td>HS16</td><td>399.5</td><td>HS34</td><td>399.0</td></tr> <tr><td>HS17</td><td>394.5</td><td>HS35</td><td>405.0</td></tr> <tr><td>HS18</td><td>392.5</td><td></td><td></td></tr> </tbody> </table>	Homesite	Datum (mas)	Homesite	Datum (mas)	HS1	372.0	HS19	372.0	HS2	381.0	HS20	377.2	HS3	381.0	HS21	372.5	HS4	377.0	HS22	374.0	HS5	388.0	HS23	371.5	HS6	382.0	HS24	372.4	HS7	379.0	HS25	373.0	HS8	386.5	HS26	378.1	HS9	389.0	HS27	388.0	HS10	395.0	HS28	392.6	HS11	396.0	HS29	385.5	HS12	393.0	HS30	395.9	HS13	399.0	HS31	393.7	HS14	403.0	HS32	384.8	HS15	404.0	HS33	385.8	HS16	399.5	HS34	399.0	HS17	394.5	HS35	405.0	HS18	392.5			NC
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	41.5.4.5 Building within any Homesite where a requirement to comply with the Preserve Design Guidelines has been registered on the title for the Site.	RD																																																																												

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Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status
	Discretion is restricted to the matters of discretion listed in 41.4.4.17.	
	<p>Revegetation – Homesite (HS) Activity Area</p> <p>41.5.4.6 No buildings shall be erected within a Homesite (HS) Activity Area unless and until an area as specified within this rule has been re-vegetated with native vegetation. The area required to be re-vegetated for the purposes of this rule shall be the greater of 3,000m² or 20 per cent of the area of the lot or title within which the Homesite (HS) Activity Area is situated, whichever is greater. For the purposes of this rule no account shall be taken of any native vegetation existing at the date of application for subdivision consent to create the lot or title within which the Homesite (HS) Activity Area is located.</p>	D
	<p>Building Height</p> <p>41.5.4.7 The maximum height of buildings shall be:</p> <p>a. Homesite Activity Area 5 m</p> <p>b. all other buildings and structures 4 m</p>	NC
	<p>Residential Units</p> <p>41.5.4.8 In the OSH, OSR, and OS Activity Areas, no residential units may be constructed until 80% of the freehold land within the Open Space Foreshore Activity Area has been planted with native endemic species.</p>	NC
	<p>Standards for Building</p> <p>41.5.4.9 Within the Open Space - Horticultural (OSH) Activity Area:</p> <p>a. there shall be no more than 15 building platforms;</p> <p>b. those 15 building platforms referred to in (a) above are confined to 3 or 4 clusters; and</p> <p>c. no building is to be erected prior to the horticultural activity being planted.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. the external appearance of buildings with respect to the effect on visual and landscape values of the area;</p> <p>b. associated earthworks and landscaping;</p> <p>c. bulk and location;</p> <p>d. visibility of the building from State Highway 6 and Lake Wakatipu.</p>

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Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status
	<p>Farm buildings within the Open Space Landscape (OSL) Activity Area and not within a Landscape Protection Area</p> <p>41.5.4.10 The construction, replacement or extension of a farm building within the Open Space Landscape Activity Area shall meet the following standards:</p> <ul style="list-style-type: none"> a. the landholding the farm building shall be located within is greater than 100 ha; and b. the density of all buildings on the landholding site, inclusive of the proposed building(s) does not exceed one farm building per 50 hectares on the site; and c. the farm building shall be less than 5m in height and the ground floor area shall be no greater than 300m²; and d. farm buildings shall not protrude onto a skyline or above a terrace edge when viewed from adjoining sites, or formed roads within 2km of the location of the proposed building. 	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. the extent to which the scale and location of the farm building is appropriate in terms of: <ul style="list-style-type: none"> i. rural amenity values; ii. landscape character; iii. privacy, outlook, and rural amenity from adjoining properties; iv. visibility, including lighting; v. scale; vi. location.
	<p>Planting and Cultivation – Landscape Protection and Tablelands Areas</p> <p>41.5.4.11 Within the Highway Landscape Protection Area (refer Structure Plan 41.7) the planting and/or growing of any tree shall not obscure views from the State Highway to the mountain peaks beyond the zone.</p>	D
	<p>41.5.4.12 Within the Peninsula Hill Landscape Protection Area (refer Structure Plan 41 7) the planting and/or cultivation of any tree or shrub shall be indigenous and characteristic of the Peninsula Hill escarpment (i.e. grey shrubland and tussock grassland on exposed sites and beech forest on sheltered sites).</p>	D
	<p>41.5.4.13 Within the Lakeshore Landscape Protection Area (refer Structure Plan 41.7) the planting and/or cultivation of any tree or shrub shall be indigenous and characteristic of the Lake Wakatipu foreshore (i.e. broadleaf forest, grey shrubland and tussock grassland plant communities).</p>	D
	<p>41.5.4.14 Within the Tablelands Area (refer Structure Plan 41.7), there shall be no exotic vegetation</p>	D

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Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status
	<p>planted and/or cultivated, with the exception of:</p> <ul style="list-style-type: none"> a. grass species if local and characteristic of the area; and b. other vegetation if it is: <ul style="list-style-type: none"> i. less than 0.5 metres in height; and ii. less than 20 square metres in area; and within 10 metres of a building; and iii. intended for domestic consumption. 	
41.5.4.15	Within the OSR Activity Area, at least 50% of any site shall be planted in native vegetation, prior to building.	RD Discretion is restricted to any effects on nature conservation values.
41.5.4.16	<p>Open Space Wetlands (OSW) Activity Area</p> <p>There shall be no development or landscaping, within 7 metres of any wetland located within a Wetland Activity area identified on the Structure Plan, except to enable development of pedestrian access (including boardwalks), the erection of fences to control stock or other structures related to the protection of these areas, or to undertake ecological enhancement, including the removal of plant pests.</p>	NC
41.5.4.17	<p>Fencing</p> <p>There shall be no fences or walls within the boundary of any lot or title within the Tablelands Landscape Protection Area (refer Structure Plan) outside of any Homesite (HS) Activity Area or approved building platform, except for fencing between stock managed areas and areas retired from stock and for the purpose of demarcating private land from land accessible to the public as a result of the creation of public walkways additional to those walkways identified as “Public Access Route” on the Structure Plan. Any such fencing shall be post and wire only.</p>	D
	Temporary and Permanent Storage of Vehicles	NC

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Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status
	<p>41.5.4.18 Within the Tablelands Landscape Protection Area (refer Structure Plan), but excluding the Homesite (HS) Activity Areas, there shall be no temporary or permanent siting of:</p> <ul style="list-style-type: none"> a. motor vehicles, trailers, caravans, boats or similar objects; b. storage containers, workshops, offices, sheds, huts or similar structures (other than public toilets and shelter); and c. scaffolding or similar construction materials. <p>Except for temporary filming towers erected during an event and for no more than 7 days either side of an event.</p>	

Table 10	Standards for activities located in the Jacks Point Zone – Zone Wide Standards	Non-compliance Status
41.5.5	General Zone Wide Standards	
	<p>Structure Plan</p> <p>41.5.5.1 Development shall be undertaken in general accordance with the Structure Plan in Part 41.7. For the purposes of interpreting this rule, the following shall apply:</p> <ul style="list-style-type: none"> a. a variance of up to 120m from the location and alignment shown on the Structure Plan of the Primary Roads, and their intersections with State Highway 6, shall be acceptable; b. Public Access Routes and Secondary Roads may be otherwise located and follow different alignments provided that any such alignment enables a similar journey; c. development shall facilitate a road connection at each Key Road Connection shown on the Structure Plan to enable vehicular access to roads which connect with the Primary Roads, provided that a variance of up to 50m from the location of the connection shown on the Structure Plan shall be acceptable. 	D

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	<p>Setbacks from the zone boundary</p> <p>41.5.5.2 Buildings or structures shall be set back a minimum of 20m from the zone boundary, except this rule shall not apply to the Boating Facilities (BFA) Activity Area.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. bulk, height and proximity of the building facade to the boundary; b. the impact on neighbours amenity values; c. shading and access to sunlight.
	<p>Access to the State Highway</p> <p>41.5.5.3 Access from State Highway 6 shall be only at the intersections at Maori Jack Road, and Woolshed Road and in a third location as approved by RM160562, as shown on the Structure Plan.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. the safe and efficient functioning of the road network.
	<p>41.5.5.4 The scale of use of the Woolshed Road access shall not increase until an amended design for that road's intersection with State Highway 6 has been upgraded, completed and available for use, except as provided for through the approval of a Traffic Management Plan by the NZ Transport Agency (refer Advisory Note below).</p> <p>Advice Notes:</p> <ul style="list-style-type: none"> a. a 'Traffic Management Plan' is required to be submitted to the NZ Transport Agency from any person/s using Woolshed Road in relation to construction within the Jacks Point Resort Zone; b. the upgrade of the intersection of Woolshed Road and State Highway 6 will require approval from the NZ Transport Agency. 	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. the safe and efficient functioning of the road network.
	<p>Building Colours</p> <p>41.5.5.5 Any building shall result in:</p> <ul style="list-style-type: none"> a. at least 70% of the total painted or galvanised external surface of buildings (excluding roofs and windows) with a reflectance value of between 0 and 35% ; b. roof colours with a light reflectance value of 20% or less, and in the range of browns, greys and black. 	<p>D</p>

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	Glare	NC
41.5.5.6	All fixed lighting shall be directed away from adjacent roads and properties.	
41.5.5.7	No activity shall result in a greater than 3.0 lux spill, horizontal and vertical, of light onto any property located outside of the Zone, measured at any point inside the boundary of the adjoining property.	NC
	Outside storage and non-residential activities	NC
41.5.5.8	In relation to non-residential activities, no goods, materials or equipment shall be stored outside a building, except for vehicles associated with the activity parked on the site overnight.	
41.5.5.9	All manufacturing, altering, repairing, dismantling or processing of any materials, goods or articles shall be carried out within a building except in relation to farming. Except within the Village Activity Areas, where outside storage and activities are permitted.	NC
	Servicing	NC
41.5.5.10	All dwellings shall connect to reticulated infrastructure for the provision of a water supply, wastewater disposal, power and telecommunications. (Except this Standard shall not apply within any Homesite Activity Area)	
41.5.5.11	All services, with the exception of stormwater systems, shall be reticulated underground.	

41.6 Rules - Non-Notification of Applications

- 41.6.1 Any application for resource consent for a controlled activity shall not require the written approval of other persons and shall not be notified.**
- 41.6.2 Any application for the following activities shall not require the written approval of other persons and shall not be notified.**
- a. Rules 41.4.3.3 and 41.4.3.5 Buildings and tennis courts (including the addition to or construction of buildings) within the Lodge (L) Activity Areas.
- 41.6.3 Any application for resource consent for the following restricted discretionary activities shall be considered without public notification but notice shall be served on those persons considered to be adversely affected if written approval has not been obtained.**

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- a. Rule 41.4.1.8 Commercial activities, community and visitor accommodation.
- b. Rule 41.4.5.1 Sale of Liquor.
- c. Rule 41.5.1.7 Setbacks from Roads and Internal Boundaries.
- d. Rules 41.5.5.3 and 41.5.5.4 Access to the State Highway.

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41.7 **Structure Plan** Refer to Consent Order: <https://www.qldc.govt.nz/media/ijqeizuk/2020-05-21-consent-order-topic-22-jacks-point.pdf>

Jacks Point Resort Zone Structure Plan

LEGEND

-  Outstanding Natural Landscape Line
-  Activity Area
-  Public Access Route (location indicative)
-  Secondary Road Access (location indicative)
-  Primary Road Access (location indicative)
-  Key Road Connections (location indicative)
-  State Highway Mitigation

OVERLAYS

-  Highway Landscape Protection Area
-  Peninsula Hill Landscape Protection Area
-  Lake Shore Landscape Protection Area
-  Tablelands Landscape Protection Area

KEY

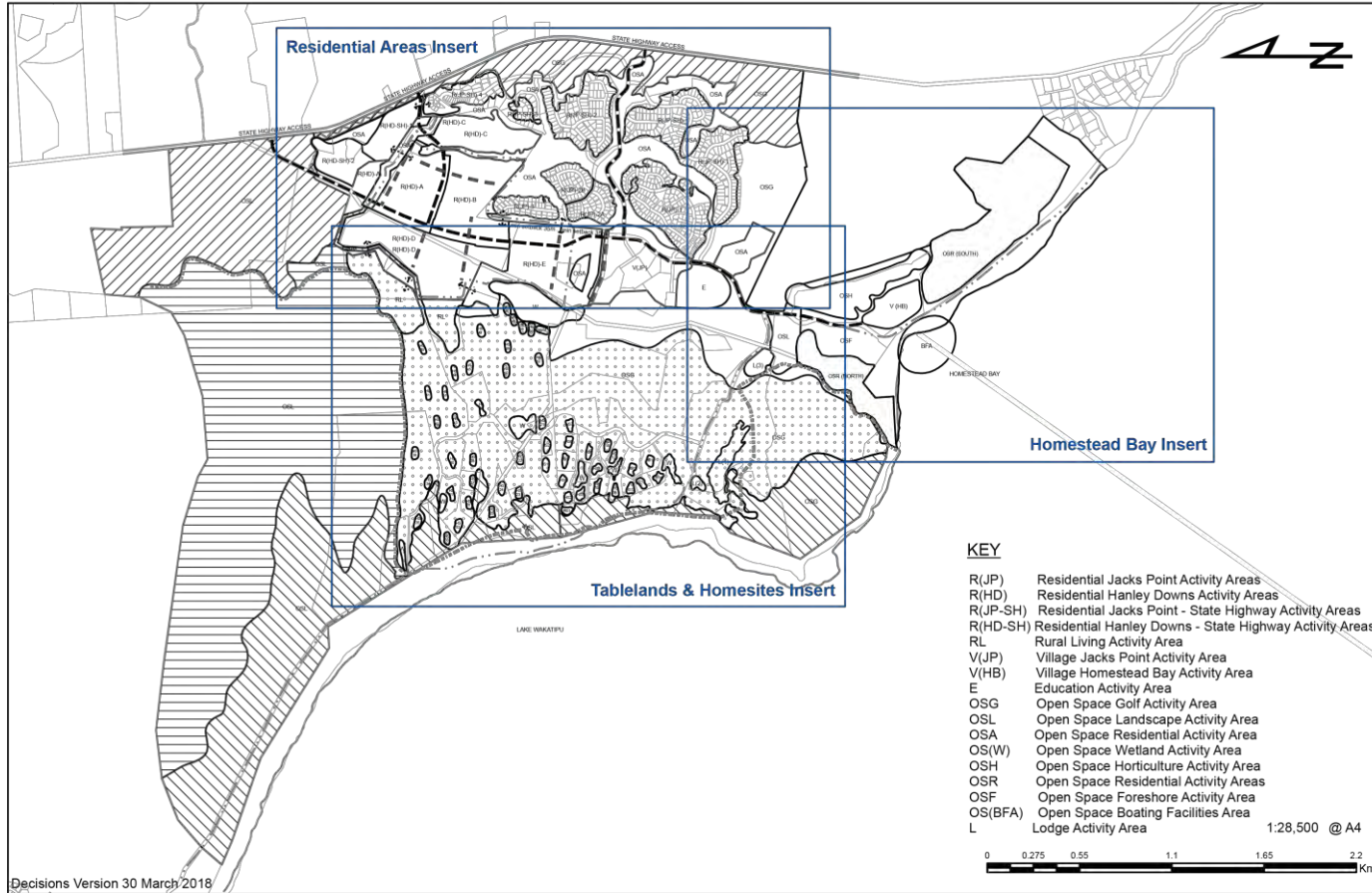
- R(JP) Residential Jacks Point Activity Areas
- R(HD) Residential Hanley Downs Activity Areas
- R(JP-SH) Residential Jacks Point - State Highway Activity Areas
- R(HD-SH) Residential Hanley Downs - State Highway Activity Areas
- RL Rural Living Activity Area
- V(JP) Village Jacks Point Activity Area
- V(HB) Village Homestead Bay Activity Area
- E Education Activity Area
- OSG Open Space Golf Activity Area
- OSL Open Space Landscape Activity Area
- OSA Open Space Residential Activity Area
- OS(W) Open Space Wetland Activity Area
- OSH Open Space Horticulture Activity Area
- OSR Open Space Residential Activity Areas
- OSF Open Space Foreshore Activity Area
- OS(BFA) Open Space Boating Facilities Area
- L Lodge Activity Area

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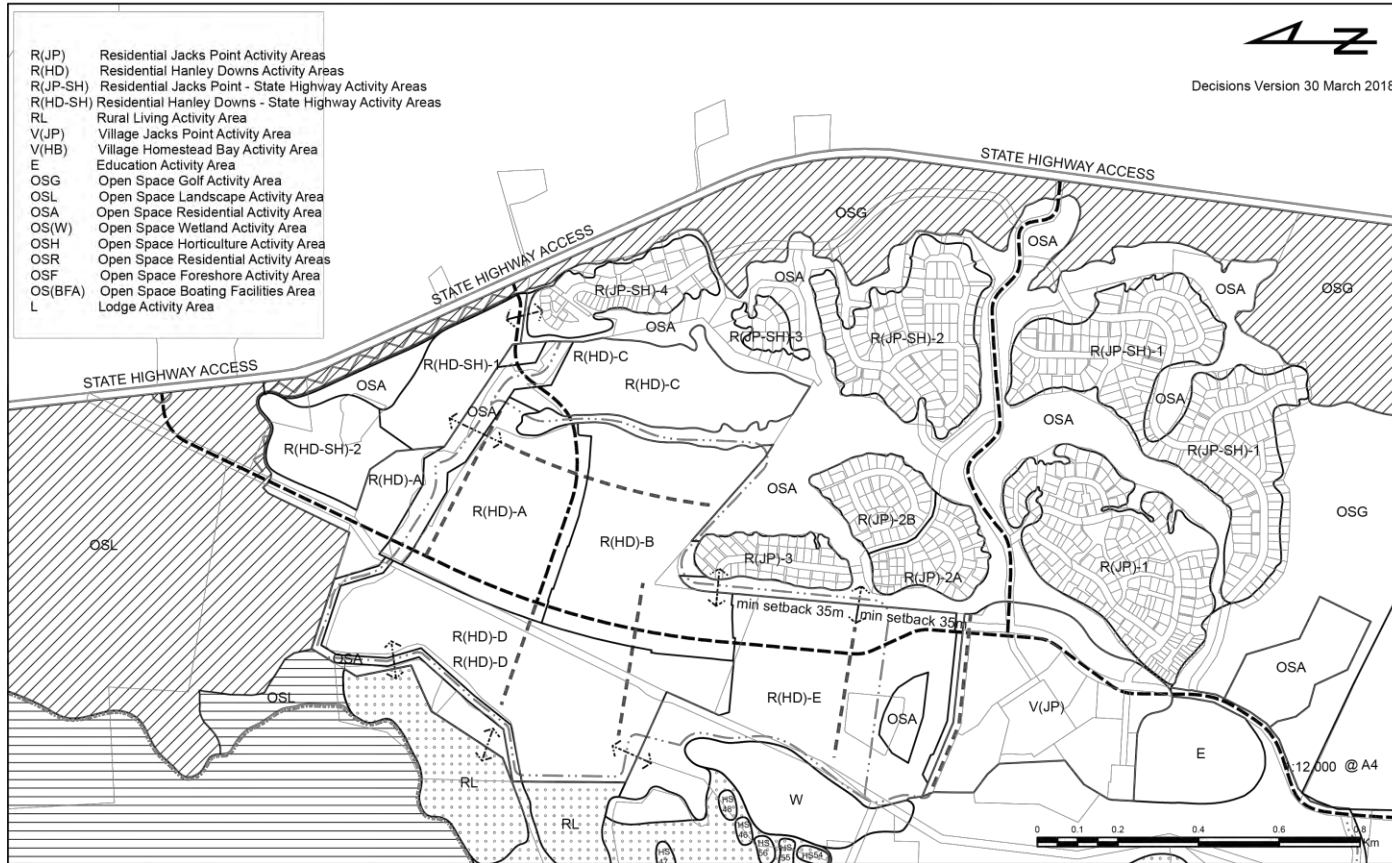
Jacks Point Resort Zone Structure Plan



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Jacks Point Resort Zone Structure Plan
Residential Areas Insert

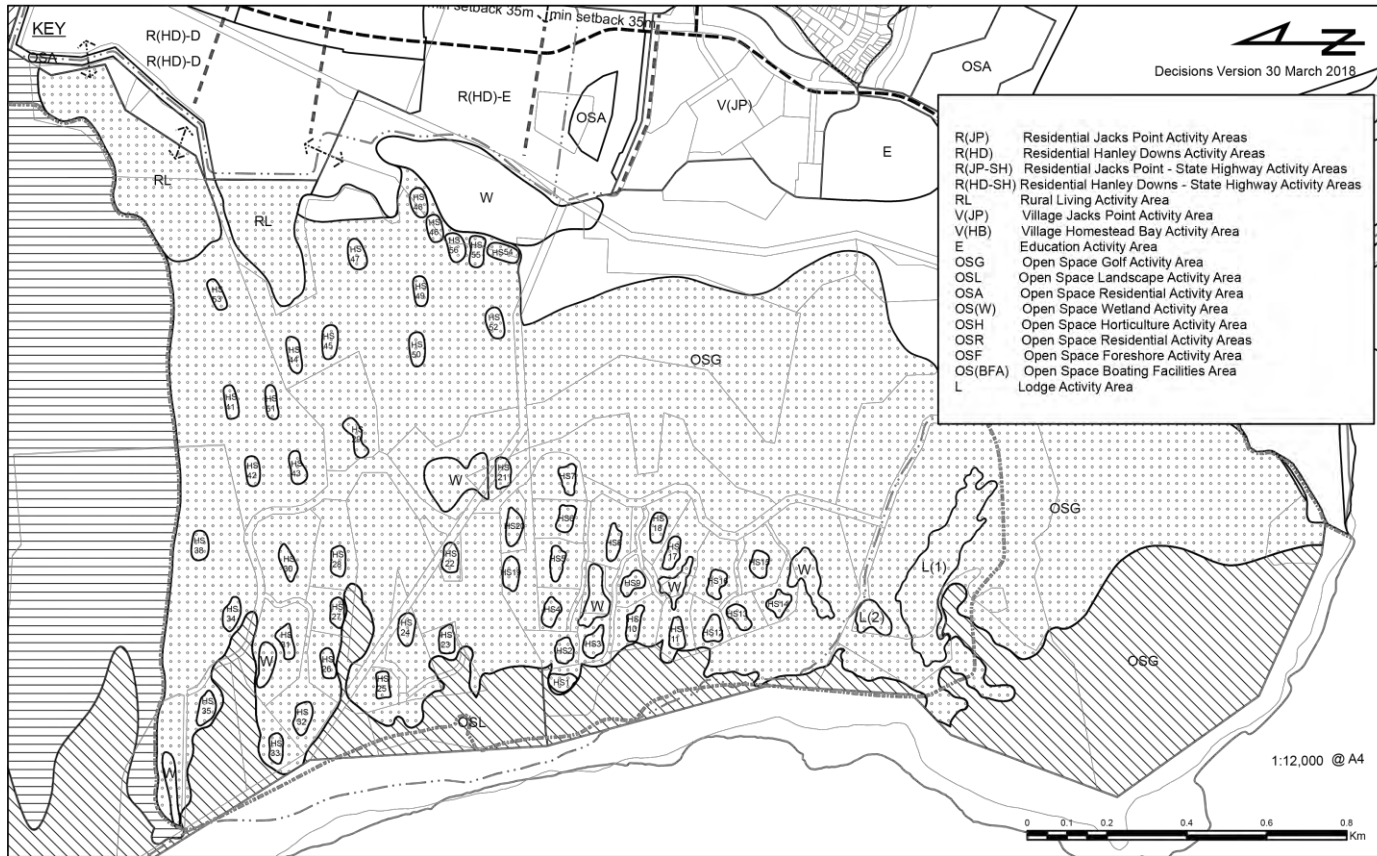


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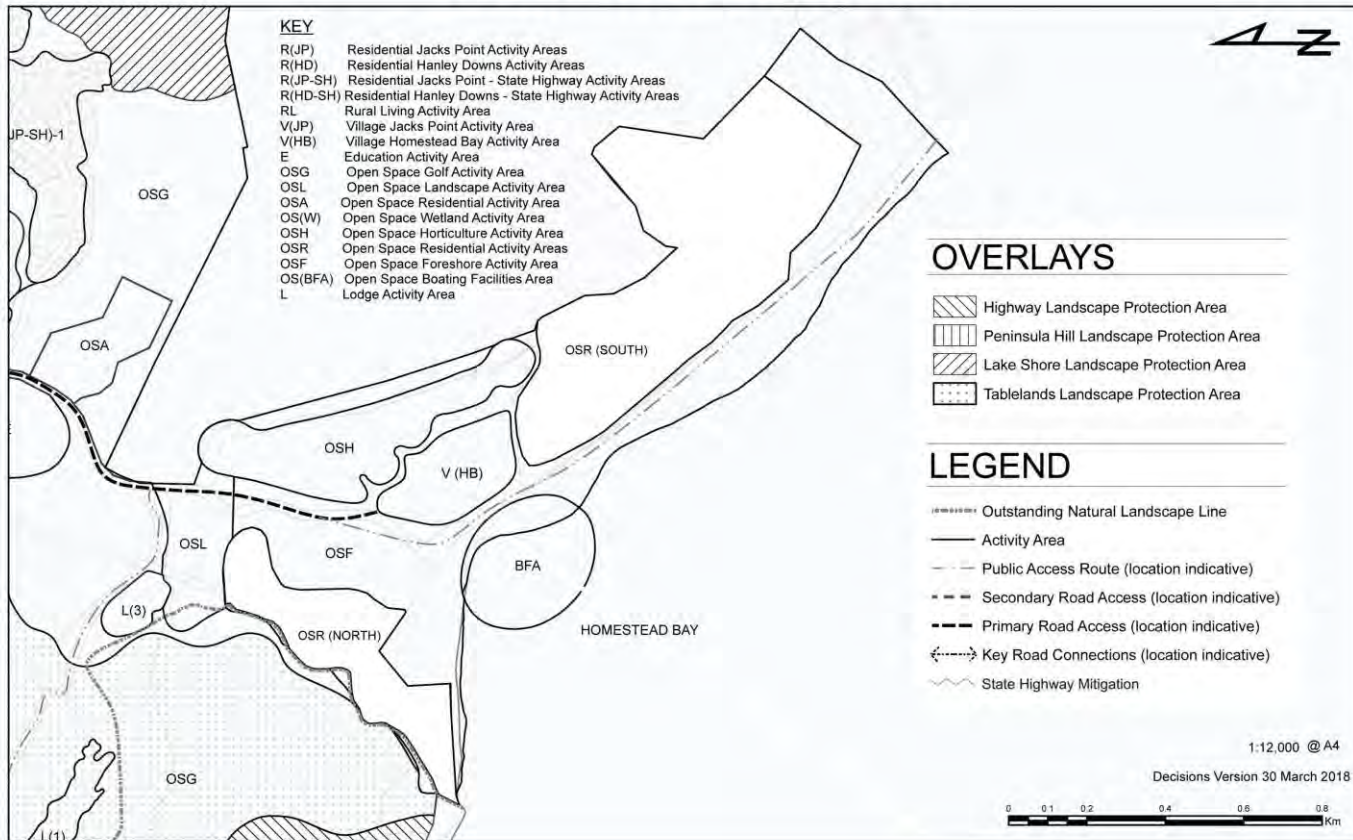
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Jacks Point Resort Zone Structure Plan Tablelands & Homesites Insert



Jacks Point Resort Zone Structure Plan
Homestead Bay Insert



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41.8 Jacks Point Plant List

Trees

Botanical Name	Common Name	Sun	Mid Sun	Shade	Moist	Dry	Sheltered	Exposed
<i>Aristotelia serrata</i>	Wineberry	x	x		x	x		x
<i>Carpodetus serratus</i>	Putaputaweta / marbleleaf	x	x		x		x	
<i>Coprosma linariifolia</i>	Mikimiki	x	x		x	x		x
<i>Cordyline australis</i>	Ti kouka / cabbage tree	x	x		x	x		x
<i>Fuchsia excorticata</i>	Kotukutuku / tree fuchsia		x		x		x	
<i>Elaeocarpus hookerianus</i>	Pokaka		x		x		x	
<i>Griselinia littoralis</i>	Kapuka / broadleaf	x	x		x	x		x
<i>Hoheria lyallii</i>	Mountain ribbonwood	x			x			x
<i>Melicytus lanceolatus</i>	Mahoe wao	x	x		x		x	
<i>Melicytus ramiflorus</i>	Mahoe / whiteywood	x	x		x	x		x
<i>Metrosideros umbellata</i>	Southern rata	x	x		x	x		x
<i>Myrsine australis</i>	Mapou	x	x	x	x	x		x
<i>Nothofagus fusca</i>	Red beech	x	x		x	x	x	
<i>Nothofagus solandri</i> var. <i>cliffortioides</i>	Mountain beech	x	x		x	x	x	
<i>Pennantia corymbosa</i>	Kaikomako	x	x		x	x		x
<i>Pittosporum eugenioides</i>	Tarata / lemonwood	x	x		x	x		x
<i>Pittosporum tenuifolium</i>	Kohuhu	x	x		x	x		x
<i>Podocarpus hallii</i>	Hall's Totara	x	x		x	x		x
<i>Prumnopitys taxifolia</i>	Matai		x	x	x	x	x	
<i>Pseudopanax crassifolius</i>	Lancewood	x	x		x	x		x
<i>Sophora microphylla</i>	Kowhai	x	x		x	x	x	

Shrubs

Botanical Name	Common Name	Sun	Mid Sun	Shade	Moist	Dry	Sheltered	Exposed
<i>Aristotelia fruticosa</i>	Mountain wineberry	x			x			x
<i>Carmichaelia petriei</i>	NZ broom	x	x	x	x			x
<i>Coprosma crassifolia</i>	NZ Coprosma	x	x		x	x		x
<i>Coprosma lucida</i>	Shining Karamu		x	x	x	x		x
<i>Coprosma propinqua</i>	Mingimingi	x			x	x		x
<i>Coprosma rugosa</i>	Needle-leaved Mt Coprosma	x	x		x	x		x
<i>Corokia cotoneaster</i>	Korokia	x	x		x	x		x
<i>Cyathodes juniperina</i>	Mingimingi	x	x			x		x
<i>Discaria toumatou</i>	Matagouri	x			x	x		x
<i>Dracophyllum longifolium</i>	Inaka	x	x			x		x
<i>Dracophyllum uniflorum</i>	Turpentine shrub	x	x		x			x
<i>Gaultheria antipoda</i>	Tall snowberry	x		x	x	x	x	
<i>Hebe cupressoides</i>	Cypress Hebe	x				x		x
<i>Hebe odora</i>		x			x			x

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Botanical Name	Common Name	Sun	Mid Sun	Shade	Moist	Dry	Sheltered	Exposed
<i>Hebe rakaiensis</i>		x			x	x		x
<i>Hebe salicifolia</i>	South Island Koromiko	x			x			x
<i>Hebe subalpina</i>		x			x	x		x
<i>Leptospermum scoparium</i>	Manuka	x	x		x	x		x
<i>Melicytus alpinus</i>	Porcupine shrub	x	x		x	x		x
<i>Myrsine divaricata</i>	Weeping mapou	x	x		x	x		x
<i>Olearia arborescens</i>	Southern Tree Daisy	x	x		x	x		x
<i>Olearia avicenniifolia</i>	Tree Daisy	x				x		x
<i>Olearia bullata</i>		x			x	x		x
<i>Olearia cymbifolia</i>		x	x		x	x		x
<i>Olearia fragrantissima</i>		x				x	x	
<i>Olearia hectori</i>		x			x	x		x
<i>Olearia lineata</i>	Tree Daisy	x	x		x	x		x
<i>Olearia nummulariaefolia</i>	Tree Daisy	x				x		x
<i>Olearia odorata</i>	Tree Daisy	x			x		x	
<i>Ozothamnus</i> sp.	Cottonwood	x			x	x		x
<i>Pimelea aridula</i>	NZ daphne	x			x	x		x
<i>Pseudopanax colensoi</i> var. <i>ternatus</i>	Mountain three finger		x	x	x	x		x

Grasses

Botanical Name	Common Name	Sun	Mid Sun	Shade	Moist	Dry	Sheltered	Exposed
<i>Aciphylla aurea</i>	Golden speargrass	x				x		x
<i>Aciphylla glaucescens</i>	Blue speargrass	x				x		x
<i>Astelia fragrans</i>	Bush lily		x	x	x		x	
<i>Astelia nervosa</i>	Mountain Astelia		x	x	x	x		x
<i>Carex coriacea</i>	NZ swamp sedge	x			x			x
<i>Carex maorica</i>	Carex	x	x		x			x
<i>Carex secta</i>	Purei	x	x		x			x
<i>Chionochloa conspicua</i>	Bush tussock	x	x		x	x		x
<i>Chionochloa rigida</i>	Narrow-leaved snow tussock	x			x	x		x
<i>Chionochloa rubra</i>	Red Tussock	x			x	x		x
<i>Cortaderia richardii</i>	South Island Toeotoe	x			x	x		x
<i>Festuca novae zelandiae</i>	Hard tussock	x				x		x
<i>Juncus distegus</i>	Wiwi		x		x			x
<i>Juncus gregiflorus</i>	NZ soft rush		x		x			x
<i>Juncus sarophorus</i>	Wiwi	x	x		x			x
<i>Phormium cookianum</i>	Mountain flax	x			x	x		x
<i>Phormium tenax</i>	Harakeke/swamp flax	x			x	x		x
<i>Poa cita</i>	Silver tussock	x			x	x		x
<i>Schefflera digitata</i>	Seven finger	x	x		x	x	x	
<i>Schoenus pauciflorus</i>	Bog rush	x			x		x	
<i>Typha orientalis</i>	Raupo / bullrush	x			x			x



Jack's Point | VILLAGE

Design Guidelines

March 2021

DRAFT



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1 / INTRODUCTION TO THE DESIGN GUIDELINES

1.1 PURPOSE OF THE DESIGN GUIDE

The Design Guidelines are a living evolving document to guide and reinforce the valued character of the Villages built environment. This guide has been developed to initiate that process and to ensure:

- Architecture is of a high quality that respects the Villages natural landscape setting through the careful and considered use of raw, natural materials and finishes;
- The use of varied architectural typologies (location, materiality, scale, and form), that will read as a collection of buildings avoiding monotonous, large built form to emphasise a Village character;
- A high-quality public realm and pedestrian experience of The Village, for residents and visitors alike;
- The site's strong landscape identity is retained and enhanced in Jack's Point Village;
- Architecture is of a high quality that respects the Villages natural landscape setting;
- Stakeholders involved have surety over the vision, design direction and the high expectation of quality that is held for all sites within The Village.

They are controlled by the master developer (Darby Partners) and are implemented through the Design Review Board (DRB). This review process is independent of the council consenting process and requirement, however significant weighting is given to applications with DRB approval alongside their Resource Consent Applications.

It is the principal document for the development of Jack's Point Village as an exemplar mixed use development in support of the already successful residential neighbourhoods. It encourages development in a coordinated manner, in keeping with the vision of 'treading lightly on the land' and with an absolute commitment to this extraordinary landscape.

A (successful) village is much more than an urban settlement of a particular size. It is a term that encapsulates a particular character and feel; a type of urban living that offers a distinct experience.

Qualities of a successful village this guide looks to help deliver are:

- An intimate, cohesive environment; celebrating our architectural traditions and historic forms, whilst embracing modern design philosophies;
- An integrated and inclusive village community, for both residents, visitors and guests, rich in architectural forms and textures, public spaces and human experiences;
- The linking of community spaces and uses through an extensive network laneways, green links, and open space connections;
- Enclosed pedestrian scale streetscapes, relatively narrow and low speed streets with active edges;
- A visually coherent built environment which at any time is seen as a coherent whole.

The Jack's Point Design Review Board (DRB) has the responsibility of assessing whether a project complies with the Design Guidelines and the degree to which it enhances the amenity and streetscape. It assesses proposals against high level objectives, values, and principles as well as specific controls and guidelines set out in this document.

In the case of some controls not being met the DRB has the discretion to approve a proposal if the objectives and values of Jack's Point Village are met, and the proposal demonstrates high degrees of merit both architecturally, functionally, and to the wider community.

The DRB is made up of a group of professionals chosen for their expertise and understanding of the objectives. In most cases, if the objectives of these guidelines are met then the review process becomes part of the standard design process that a client would normally undertake with their design consultants. In other instances, the DRB is required to work more extensively with property owners and their consultants to achieve a successful outcome that will meet the requirements of the guidelines.

The DRB's costs incurred in assessing projects is recoverable from the applicant.

1.2 THE VISION

The Village has been a key element to Jack's Point settlement plan since its conception and its adoption in 2002 as a special zone in the Queenstown Lakes District Plan.

The Village will form the vibrant heart of our growing community and provide a central hub for a range of activities catering to the everyday needs of locals and visitors alike. It will be a place to live, to work, to stay, to learn, to relax and connect.

The Village should provide for urban style living set within nature and a level of convenience that retains strong connections to the natural, open environment that Jack's Point sits within.

The Village has been comprehensively planned to fully respect its special natural landscape setting by the careful integration of future land use activities and buildings into a wider strong framework of protected green and blue open space and well connected trail network.

1.3 DESIGN PRINCIPLES AND OBJECTIVES

1.3.1 AMENITY

To ensure the existing valued natural character of the village setting is protected or enhanced by appropriate design solutions.

OBJECTIVES

- Provide a strong framework of blue and green spaces within which built form can be appropriately located.
- Create attractive, connected nodes of blue and green space to encourage a range of different activities and uses.
- Create sheltered and sunny public spaces through the appropriate location and articulation of built forms.
- Protect or enhance key view shafts to the wider landscape through the appropriate alignment of roads, siting of public spaces and suitable building design.

1.3.2 CONNECTIVITY

To create pedestrian-focused, safe, efficient, and well-connected village environment. The circulation network should provide a wide range of transportation (outside of the motor-vehicle) options and experiences that provide linkages to the wider open space network.

OBJECTIVES

- Creation of new trail connections within the Village to provide connectivity with the adjacent Jack's Point Neighbourhoods, open spaces, and the wider Wakatipu Basin. Trail connections should provide for multiple means of non-vehicular related transport (bikes, pedestrian, electric carts, boats, etc).
- Create a pedestrian-focused environment with permeable development blocks that provide connectivity and a sense of discovery throughout the Village.
- Enhance access and interaction on and around Lake Tewa and connected waterbodies.
- Provide an efficient Vehicle network through the Village without impacting the pedestrian environment.

1.3.3 CHARACTER

Create a Village character that reflects its unique mountain setting and celebrates the history and architectural traditions of the site and wider district. The built form and landscape treatment of open spaces should reflect both the natural and cultural values of its wider setting.

Evolve and maintain a common design language through the careful and considered use of raw, natural materials and unity of built forms, building on that which is already present within Jack's Point.

OBJECTIVES

- Create a unique pedestrian-friendly waterfront built environment, providing a diverse range of experiences and outdoor activities that encourage interaction with Lake Tewa.
- Outside of the waterfront built environment, protect and enhance the natural character of the lake foreshore.
- Create a range of sheltered and sunny public spaces that cater to both the needs of residents and visitors alike.
- Provide for a higher degree of visual and physical permeability between buildings and open space built forms in and around key public open spaces by the careful siting and density of adjoining built forms.
- Provide for a diverse range of land use activities within the Village to offer a high level of convenience, lifestyle and employment options with a focus on living, visiting, learning, local employment, well being and recreation.
- Provide for a cohesive and concentrated retail area within the Mixed-Use precinct such as the 'Village Main Street' that caters to both the existing and future requirements of the wider local community and visitors.
- Provide land dedicated to meeting community needs and supporting infrastructure.

1.3.4 ENVIRONMENT

To ensure that the natural and built environment is both protected and enhanced. Development should promote and encourage appropriate design solutions to ensure it is sympathetic to the surrounding environment.

OBJECTIVES

- Ensure that the water quality of Lake Tewa is protected. Protect the existing night-time ambience through the promotion of low-level light solutions.
- 'Promote the use of sustainable materials and green engineering systems throughout the built environment through the Design Guidelines.
- Outline a direction to ensure the minimisation of passenger vehicle movement within the Village through appropriate, efficient roading networks, hierarchy, and design.
- The support of green building techniques within the Design Guidelines encouraging cleverly designed spaces to allow solar gain, maximise airtightness of the building envelope, natural ventilation and increased insulation contribute to energy conservation and a healthy and comfortable living environment.

1.4 HOW TO USE THE GUIDE

The Design Guidelines for the Village are based on the following hierarchy:

- Design Principles;
- Design Objectives;
- Design Controls.

Principles and Objectives are overarching and relate more to the experience and relationship between public realm and built form. The philosophy being that adherence to good urban design principles should result in good built form. Design Controls facilitate the delivery of built form and open space (both private and public) within individual precincts that is site based while ensuring the response is in line with expectations for the wider Village.

Fulfilment of the Principles and Objectives is mandatory for all applicants, however the DRB may accept proposals that do not meet the controls should the design outcome be improved by the departure and the overall intent is still achieved.

Designers are encouraged to first familiarise themselves with the principles and objectives in Part 1&2 of the Design Guidelines, then understand the controls that apply to their site.

Part 1: Outlines the vision for Jack's Point Village and includes the Design Principles and Objectives that apply to all development here.

Part 2: Outlines controls that apply to all sites regardless of the underlying precinct outlines. It includes:

- Key site wide design considerations and expectations that ensure a positive private/public realm interface;
- Information on critical components such as landscape and the movement network which are site wide contributors to character and connectivity.

Following this, all remaining design controls can be found in the relevant precinct sections:

Part 3 Mixed use;

Part 4 Visitor Accommodation;

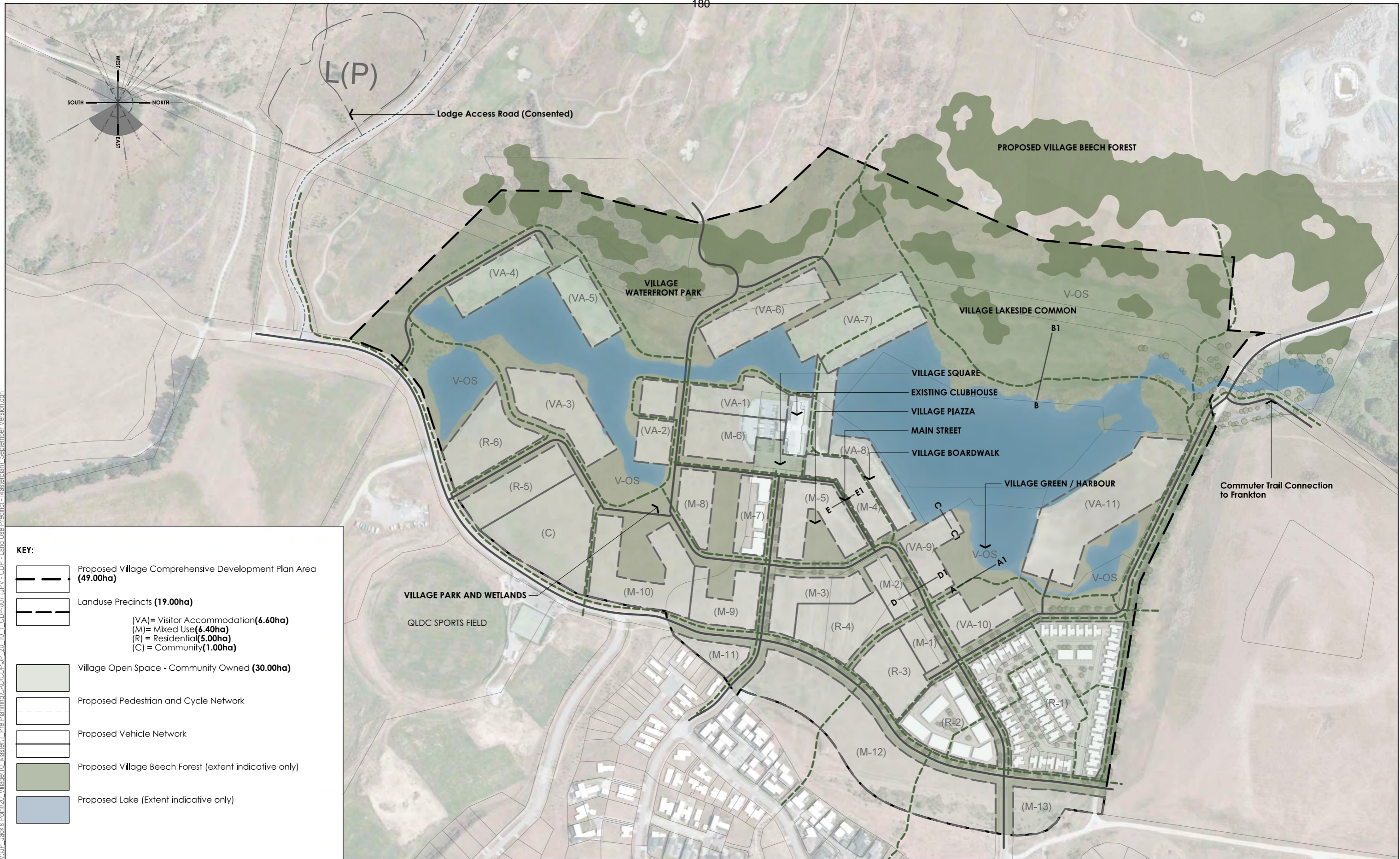
Part 5 Residential.

These sections (3,4 & 5) each begin with Design Controls outlining expectations for the wider precinct broken into Individual Site Design and Building Guidance for clarity and to encourage designers to consider first the site, and then the building. This is then followed by controls related specifically to urban form unique to that precinct.

It is essential that the fundamentals of site planning are adhered to for every building or group of buildings.

1.5 AREAS COVERED BY THE GUIDE

Jack's Point Village Masterplan



KEY:

- Proposed Village Comprehensive Development Plan Area (49.00ha)
- Landuse Precincts (19.00ha)
- Village Open Space - Community Owned (30.00ha)
- Proposed Pedestrian and Cycle Network
- Proposed Vehicle Network
- Proposed Village Beech Forest (extent indicative only)
- Proposed Lake (Extent indicative only)

(VA) = Visitor Accommodation (6.60ha)
 (M) = Mixed Use (6.40ha)
 (R) = Residential (5.00ha)
 (C) = Community (1.00ha)

VAJP - Jack's Point 20 - Village 10 - Masterplan - Pre Planning CAD/CDP/JP_20_10_1_CDP-007 (JPV - CDP - Land Use Precinct - Masterplan) - September Version.dgn

DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz

SCALE: 1:2000 (A1); 1:4000 (A3)

 CONSULTANTS:

NOTES:
 These drawings are indicative only and subject to design refinement through consultation process. Drawings may not be shared externally.

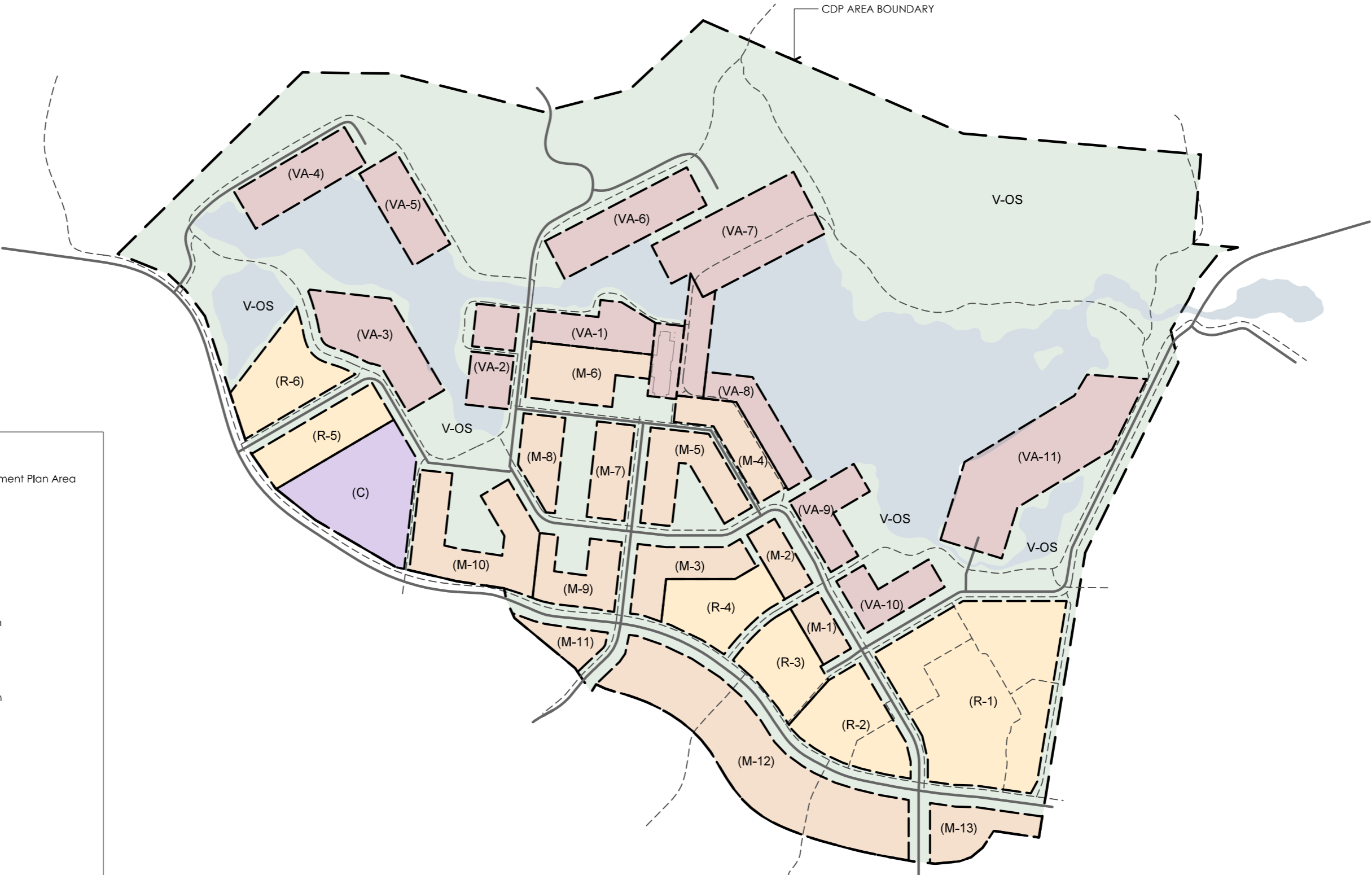
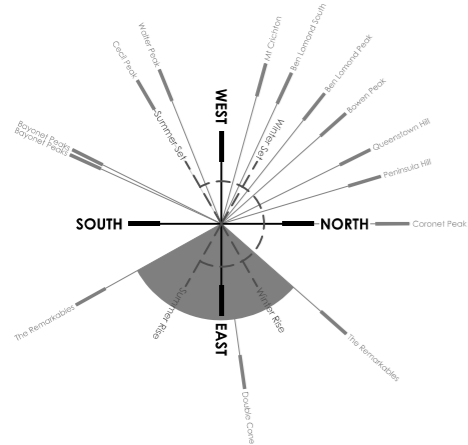
REVISION:
 NO DESCRIPTION
 - Indicative Masterplan
 - September Version

DATE	DRAWN	REVIEWED	APPROVED
21.12.20	IG	-	-
03.02.21	JG	-	-

JACKS POINT VILLAGE - CDP
 ILLUSTRATIVE MASTERPLAN
 AND EXISTING DEVELOPMENT

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-007** REV:

Jack's Point Village Precinct Plan



KEY:

- Proposed Village Comprehensive Development Plan Area (49.00ha)
- Proposed Pedestrian and Cycle Network
- Proposed Rooding Network
- Landuse Precincts

(VA)= Visitor Accommodation
 (M)= Mixed Use
 (R)= Residential
 (C)= Community Facilities
 (V-OS)= Open Space

- Land Use Precinct - Visitor Accommodation 6.60ha
- Land Use Precinct - Mixed Use 6.40ha
- Land Use Precinct - Residential 5.00ha
- Land Use Precinct - Community 1.00ha
- Land Use Precinct - Open Space 30.00ha

Land Use Precincts Total 49.00ha

CONFIDENTIAL - CONSULTATION PROCESS ONLY

DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz

SCALE: 1:2000 (A1): 1:4000 (A3)

 CONSULTANTS:

NOTES:
 These drawings are indicative only and subject to design refinement throughout the consultation process. Drawings may not be shared externally.

REVISION:

NO	DESCRIPTION	DATE	DRAWN	REVIEWED	APPROVED
-	For Information Only	16.02.21	JG	-	-
A	For Information Only	19.03.21	TG	-	-

JACKS POINT VILLAGE - CDP
 STATUTORY PLAN
 LAND USE PLAN

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-010** REV: **A**

Jack's Point Village is comprised of 49.00 hectares of land which sits alongside Lake Tewa at the heart of Jack's Point.

Jack's Point Village features four distinct precincts, each with their own specific design guidelines but all captured under the overarching design objectives, values, and framework

1.5.1 MIXED USE

The Mixed-Use Precinct will create the vibrant heart of the Village focused around the main retail precinct at its centre, aiming to build on the already high quality of life at Jack's Point.

Using varied architectural typologies, the mixed-use precinct should read as collections of buildings avoiding monotonous, large built form in order to emphasise a fine grain village character. Built form should emphasise verticality in width, and facade treatments.

Laneways and breaks between buildings should feature heavily in these precincts, in order to provide fine grain pedestrian permeability to each precinct, connecting people to the open space network created throughout the Village.

1.5.2 VISITOR ACCOMMODATION

The Visitor Accommodation precinct aims to provide a diverse range of lodging types to reflect a rapidly changing and evolving marketplace.

By providing a broad mix of visitor accommodation opportunities, ensuring that it is an inclusive, rather than exclusive environment for visitors, whilst also providing for opportunities for lodging within each season. From single hotel rooms within dedicated hotel's, to individual rooms within the mixed-use precinct, to cabins, boatsheds and 'residences' integrated into nature and located sensitively along the edge of Lake Tewa:

- Higher density visitor accommodation should be located centrally within the village, around the clubhouse to assist in the activation of the heart of the village, encouraging interaction of visitors and locals where a strong 'village' experience is desired;
- Less dense areas of visitor accommodation should be integrated into nature. Locating these areas away from the core local part of the village allows for privacy, seclusion, and a more nature focused stay. These areas separate a large amount of servicing activities away from the village centre, minimising disturbance / impact on the more populated areas of the village.

1.5.3 RESIDENTIAL

The Residential precinct aims to create a permanent resident population within the Village. The residential precincts are connected to the centre of the village through the provision of a series of interwoven pedestrian, cycle, and pedestrian friendly street networks.

The residential precinct should provide a variety of scales and typologies that supports an inclusive living environment. From medium density housing located in nature, single family plots, to social clusters of residences, through to higher density terraced / apartment living set within landscaped precincts. Residential development should be focused around communal landscaped spaces with direct connections to trails and nonvehicular movement opportunities promoting a shift away from reliance on cars.

1.5.4 OPEN SPACE

The Open Space Precinct of the Village should create an interconnected network of open spaces, public realm, and environments that are the most critical and important aspects of the Village. A network of roads, pedestrian and cycle linkages should efficiently connect these spaces using on and off-street cycle lanes, pedestrian laneways and linkages, primary and secondary vehicle movement corridors, shared streets, and public boardwalks on the waterfront.

The open space precinct should build on the revegetation framework already present at Jack's Point, utilising similar materiality and plant species.

The Open Space precinct should provide for a range of different spaces, activities, experiences and uses:

- Boardwalks;
- Beaches;
- Wetlands – Assisting in the management of Stormwater, protecting the water quality of Lake Tewa;
- Native Revegetation;
- Parks / Commons;
- Urban Plazas;
- Active Streetscapes – consisting of activities;
- Private Residential Streetscapes.

1.5.4.1 VILLAGE SQUARE

Located directly adjacent to the Clubhouse, the Village square will be a key destination and meeting space within the Village. From the Village Square, locals and visitors will be able to meander through to the main street, connect out to the vast trail networks and lake.

The Village Square is an urban plaza space featuring open, active frontages that should allow for seamless integration and flow in and out of the buildings surrounding it.

The Plaza will function as a key public meeting space and may also function as a drop off space for guests.

1.5.4.2 VILLAGE BOARDWALK

Connecting the arrival square to the Village Green, the boardwalk will provide direct interaction with the lake, meandering through and around built form. It will offer spaces for relaxing, access into buildings, and views to the surrounding mountains, lake, and open space. Terraces and beaches will lead users down to the lake.

1.5.4.3 VILLAGE HARBOUR AND GREEN

The centrepiece of the Village open space network, the Village Harbour and Green, sheltered by the surrounding buildings will provide for uses such as:

- A beach, for relaxation on long summers days;
- A jetty to launch small sail boats, kayaks, or swimming;
- Terraced Lawn areas for lounging and socialising;

Uses surrounding the Village Harbour / Green will range from Restaurants, Bars, Cafés in order to activate the space.

1.5.4.4 VILLAGE COMMON AND WATERFRONT PARK

Access to the Village Common will be via the pedestrian and cycle network through the Village. The intent of the Village Common is to provide a green border to the Village directly fronting Lake Tewa that is dedicated to the community, protected, and secured for future generations. This space will provide for interaction with the lake, and to feel surrounded by nature with native planting, open grass areas for recreation.

Enclosed by the Village Beech Forest rehabilitation project to the west uses for this space may include, small fruit tree orchards, greenhouses, a jetty, pump track, spaces for undertaking yoga and other recreational / wellbeing focused activities. The Village Common will also provide spaces for events to be held such as small concerts and festivals.

The Waterfront Park is associated with the Village Common and is connected via the trails network through and around the Visitor Accommodation precincts.

1.5.4.5 LAKE TEWA

The centrepiece of the Village, Lake Tewa is proposed to be increased and enhanced through the addition of approximately 4.00ha of additional blue space. Adding to the amenity, of the surrounding areas, movement opportunities. The trail networks provide loops around the waterbodies, allowing for enjoyment of the lake in its entirety whilst providing a range of different experiences along the way.

1.5.4.6 VILLAGE PARK AND WETLAND

A key function of the Village Park and Wetlands is to provide protection and enhancement of the water quality of Lake Tewa. Wetlands will provide detention, filtration, and treatment of runoff from roads and development areas. Boardwalks will connect across these wetlands to small areas of private secluded open space.

1.5.4.8 PIAZZA CHARACTER AREA

The piazza is complimentary to the Main Retail Street and is a cobbled, hard surfaced space surrounded with active retail / commercial frontage.

1.6 JACK'S POINT VILLAGE DESIGN REVIEW BOARD

The Jack's Point Village will have its own Design Review Board (DRB). The composition of this board will be as follows:

- Architect/Urban Designer;
- Landscape Architect;
- Developer Representative;
- Council Representative;
- Member of the Jack's Point Village Residents Association.

The objective of the board is to review all design submission for buildings and associated landscape in the Jack's Point Village to ensure it fulfils the criteria as set in this document.

The master developer reserved the right to undertake the final review of all proposals. This is to occur post DRB review, prior to lodgement of consent.

2 / JACK'S POINT VILLAGE OVERALL DESIGN GUIDANCE

2.1 CHARACTER AREAS

To assist in curating appropriate architectural and landscape responses to key spaces or areas within the Village that development will adjoin or be part of. The character areas have been defined and explained below and identified in the following plans.

- Appendix
- i. Key Character Area Plan 1
 - ii. Key Character Area Plan 2

Each character area has specific design controls as outlined in section 3,4 &5 of this document.

2.1.1 VILLAGE SQUARE

- The Village Square / Plaza is the Arrival Square to the Village;
- It will be an urban plaza space featuring open, active frontages that should allow for seamless integration and flow in and out of the buildings surrounding it;
- Therefore, building surrounding the Plaza should have no setbacks off of the boundaries of the plaza space;
- The Plaza will function as a key public meeting space and may also function as a drop off space for guests;
- Vehicles will be separated from pedestrian movements with bollards.

2.1.2 MAIN STREET AREAS

- The core retail hub of the Village featuring rich architectural texture and variety in its buildings and their facades;
- A single surface, pedestrian dominant space, bollards and softscape separate uses rather than level changes;
- The Main Street area can be closed to vehicles to allow market days and festivals to be celebrated;
- Buildings fronting the main street vary in their setback creating pocket courtyards and spaces for people to meet and sit;
- The building frontages are punctuated with laneways allowing pedestrian permeability through the Village core.

2.1.3 VILLAGE PIAZZA

- Complimentary to the Main Retail Street, the piazza should be a cobbled, hard surfaced space with active retail / commercial frontage;
- Provides access for service vehicles during selected hours;
- Provides space for markets.

2.1.4 VILLAGE GREEN

- The Village Green is fronted predominantly with food and beverage offerings, with some complimentary retail;
- Built form should be arranged to surround the Village green creating shelter from southerly wind;
- A series of landscaped terraces should lead down to the lake edge;
- As an edge to one of the key entries to the village and the site for a boutique grocery market, this location will feature high architectural merit;
- Car parking associated with the shopping facility will be sleeved, or appropriately landscaped.

2.1.5 WATERFRONT AREAS

- Built form should emphasise verticality rather than long continuous built form, with generous gaps allowing multiple opportunities for visual and physical connections to Lake Tewa for both public and private guests;
- A Pedestrian and Cycle Boardwalk connects the Village Green area to Village Common (on the western side of Lake Tewa), meandering amongst buildings and public spaces on the water's edge;
- Some ground floor Visitor Accommodation may occur in this area, enjoying the unique lake frontage and well-connected proximity to Main Street. Where this occurs, privacy should be created between public / private spaces through architectural detail, level change, and landscape treatment.

2.2 MARKER BUILDINGS

A marker building is a complete building design that sets itself apart from its surroundings and is of an architectural merit even stronger than those it sits adjacent to.

It can be achieved through a stronger articulation of existing context or the development of a new form.

In all cases, the architectural form should be clear and coherent, the building may increase in scale and the public and private interface is critical.

See Appendix ii. Key Character Area Plan 2

Marker buildings play an important role within Jack's Point Village:

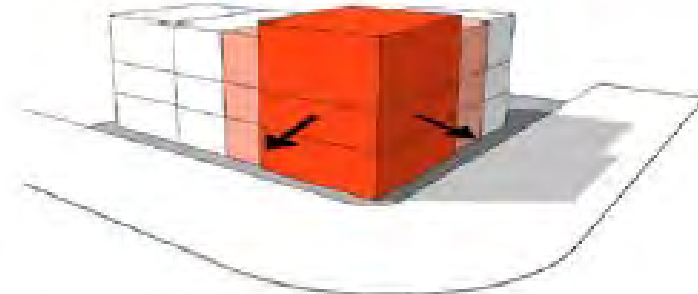
- Emphasis of the character of Jack's Point;
- They provide a natural reference point to act as an organiser for one's mental map of the area;
- They have the potential to be functionally different (all or in part) from a more general surrounding function;
- They have the ability to heighten a sense of connection and community for the inhabitants of the area;
- They have the ability to shape and organise adjacent buildings and public open space.

All marker buildings should have regard for their specific location and should be designed to:

- Be "obvious" in their makeup and placement within the spatial framework; located on key viewshafts, critical intersections of movement networks, important locations surrounding key public spaces;
- Use of key materials referenceable to Jack's Point, and the surrounding area, such as raw stone, timber, concrete;
- Display added prominence through their building form and/or height and to enhance existing site qualities;
- Ensure that ground floors have additional ceiling height;
- Achieve a positive interface with the adjacent public realm;
- Be architecturally superior through high quality design and detailing;
- Be skilfully integrated into its setting by careful consideration of the space around it;
- Align with minimum setbacks on all boundaries to ensure they are in prominent view.

2.3 CORNER SITES

- Buildings on corner sites should be designed to positively address all public realm frontages;
- This may be through architectural features that wrap the corner, windows of the same proportion on both facades and reduced setbacks on both boundaries;
- Impermeable privacy fencing of these lots is restricted to rear yards;
- Corner buildings should be architecturally superior to their neighbours on all public realm facing facades, assisting in their role as a wayfinding element;
- Corner buildings should align with minimum setbacks on both their street boundaries to ensure they are in view from further along a street;
- Where one side of a corner site is not active, this should be treated in such a way that demonstrates architectural merit, and softens the impact of that facade, such as a green wall etc.



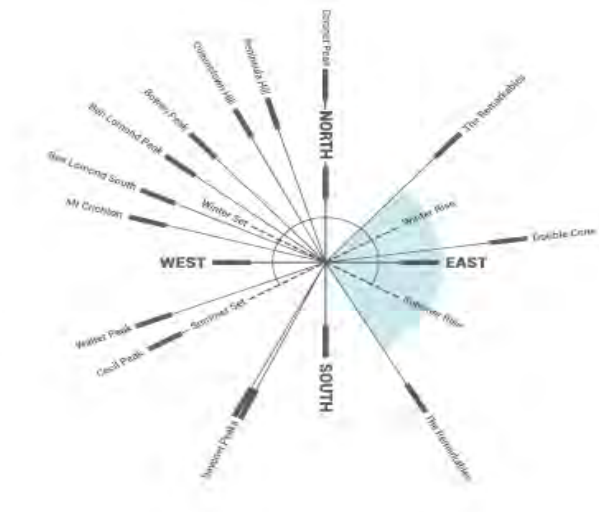
2.4 PROMOTING VIEWS

The consideration and incorporation of views and vistas to mountains, lakes or public realm is expected to be of high priority in the site planning of any development within any precinct of Jack's Point Village.

Spaces between buildings shall wherever possible, respond to the larger views beyond the village.

Critical View Shafts that need to be protected and enhanced from within, around and through buildings:

- Views to the Remarkables Mountain Range;
- Views to Cecil Peak, Bayonet Peak;
- Views to Ben Lomond and Bowen Peak;
- Views over Lake Tewa;
- Views North to Coronet Peak.



2.5 MOVEMENT NETWORK

2.5.1 DEDICATED TRAILS AND CYCLE NETWORK.

To provide alternate means of getting around the Village and its open space network, a dedicated trail and cycle network is proposed.

A series of loops should be created, to ensure efficiency of movement around, and through the Village.

Trails within the open space network should be generous in width to allow cycling side by side and/or sharing with pedestrians.

Adequate and secure bike parking should be provided throughout the village and open space network.

Pedestrian & cycle network links shall be located in accordance with the Pedestrian Network Plan and shall facilitate connections to the wider existing trail networks. Variations to the network connections as shown will be considered providing they meet the intent by continuing to connect key nodes.

Cycle ways alongside road corridors should be separated from motor vehicle movement where possible by buffers of vegetation and landscaping. Where buffering is not possible alternate suitable materiality should be utilised to clearly delineate uses.

The pedestrian network can consist of, boardwalks, hard surfaced trails such as concrete, gravel / chip, or understated mown tracks into the vast areas of brown top grassland located throughout the open space network.

2.5.2 PEDESTRIAN AND CYCLING AMENITY

KEY CONSIDERATIONS

How well does the development strengthen and enhance the experience of active modes through its contribution to:

- Legibility and wayfinding;
- Connectivity;
- Safety (for children, pedestrians, cyclists, the mobility impaired, other user groups);
- Passive surveillance;
- Opportunity for social interaction;
- Creation of comfortable microclimates;
- How easy and enjoyable it is to walk or cycle instead of drive.

2.5.3 PRIORITISING PEDESTRIANS

Developments should contribute to the village pedestrian network and movement through that network, with designs accommodating benches, wall seats and stair seats in locations suitable for rest and social interaction.

In the Mixed-Use Precinct, the buildings may also play a role in adding to overall village connectivity i.e., through laneways, public thoroughfares, arcades and plazas.

Pedestrian connections shall be of a high quality, featuring:

- Clear, straight sightlines to the spaces beyond them;
- Wide footpaths;
- Quality landscape treatment;
- Lighting in locations that offer routes to amenity likely to be accessed after dark;
- Public artwork;
- Active frontages offering passive surveillance to at least one side (unless in Open Space).

2.5.4 PUBLIC TRANSPORT NETWORK

The Village will add to the existing public transport network at Jack's Point through the provision of an additional bus links and provision for future alternate transport modes conveniently located centrally within the Village.

Where key nodes (i.e. bus stops) for the public transport network occur in close proximity to development consideration should be made within the building and site design for this activity. Pedestrian connections, Seating, shelter etc.

VEHICULAR MOVEMENT NETWORK

Designed around the prioritisation of pedestrian and cycle movement, the vehicular network focuses on moving vehicles through the mixed-use precinct, to provide activation of key frontages whilst being setback from the lake edge, to preserve this for public enjoyment.

Shared Streets (with the ability to be fully closed at certain times) will still enable efficient circulation, whilst retaining focus on pedestrian and cycle movement.

Electric Vehicle Charging Points will be provided along the primary road corridor.

ACCOMMODATING VEHICLES

All development sites within the Village Comprehensive Development Plan Area shall ensure that there is sufficient parking provided within the development site to accommodate the parking numbers generated by its anticipated use.

This shall include:

- Permanent Resident Parking;
- Visitor Parking;
- Guest Parking (Visitor Accommodation);
- Staff Parking.

Car parking, loading areas delivery and servicing should be carefully located where these functions provide for the necessary convenient vehicle access and manoeuvring without compromising the quality of open space or recreational amenity, the street edge or building entrance/s.

Drop off and pick up areas associated with some activities need careful consideration to ensure they form an integrated part of the streetscape or laneway and do not compromise the pedestrian experience.

Carpark designs should include a variety of surface finishes and materials along with a clear threshold between pedestrian and vehicle zones.

It is important that grouped car parking does not have a negative impact on the streetscape, surrounding precincts and neighbourhoods, as such it should be located behind buildings, away from corners and feature landscape buffers wherever possible.

Ground level car parking within a building should be sleeved by a layer of active frontage to ensure it does not interrupt the amenity or passive surveillance of the street.

Designers should consider structures such as arbours or pergolas, landscaped islands, the inclusion of trees and varying surface finishes to 'break down' large areas of carparking and deliver and experience of overall 'greenness' when viewed from within and from above.

Car parks should be designed primarily for the safety of pedestrians and key pedestrian routes and connections should be established during early car park design stages. Ensure that parking provisions and vehicle routes do not compromise a good walking and cycling environment.

Appropriate levels of lighting for safety and surveillance should be included.

Provide for traffic safety and calming treatments such as islands, medians, and crossings to aid pedestrian connectivity.

It should be clearly legible whether the carpark is private or public, without the use of gates.

Ensure that provision for safe pedestrian movement to and through the car park is included in the car park design as a priority, including consideration of lighting.

Facilitate carbon reduction and provide for non-fossil fuel transport by:

- Including charge facilities for electric cars in convenient locations,
- Designed to facilitate easy access to public transport.

Providing parking areas and facilities for transport options other than private cars, including but not limited to:

- Bicycles (incl. electric, cargo etc);
- Scooters (incl. electric);
- Car share services.

When designing for these transport modes, carefully consider:

- space/area requirements;
- security;
- accessibility;
- adequate end of trip facilities such as changing rooms, showers, lockers etc.

ACCOMMODATING CYCLING

Bike storage is expected to be provided for all residential units, and as many non-residential units as possible (to encourage employees to cycle).

Designers should aim to make access to, and storage of bikes easier and more convenient than car parking.

Bike storage should be accessible to the street without needing to carry bicycles through the unit, navigate steps or pass-through access paths, doors, gates etc that are not generous enough in width to easily navigate with a bike. Storage provisions should be attractive enough to stop residents from storing bikes on balconies.

Storage locations should be appropriately sized to the expected number of cyclists based on bedroom numbers per dwelling or expected employee numbers per non-residential tenancy.

Storage locations should be well lit, secure, sheltered, and weatherproof. Natural surveillance is important.

In many cases, development will be multi-unit in nature. This is best served by communal or grouped bike storage. This can be broken up into 'pods' in different locations on the block for developments with high numbers of units to minimise the visual effect of what could potentially be a large storage shed or locker.

In addition to the guidance already listed above, the design for grouped bike storage serving residential units should also consider:

- Location/accessibility for the residents served by it;
- Provision for charging e-bikes;

- Spatial provision for a range of bikes and users including children's bikes and cargo bikes;
- A water source for cleaning bikes should be included (if storage is located indoors this should be provided near an entry point);
- Facilities for filling tyres and basic repairs, e.g. workbench, tool cupboard, air supply, are desirable features of large/communal bike storage areas.

If bike storage is located within the building such as in a basement or internal storage lockers it should be placed as close as possible to the main entry points. Wall mounted bike hangers at the end of a parking space in a parking garage are discouraged/generally inadequate due to confined space and inconvenient storage exposing bikes to theft or vandalism.

Where storage is located outside of the building in a separate area, reduce distances between the storage location and building entry points. Any sheds or enclosed areas should be designed with the landscape and architecture of the building in an integrated way.

2.6 PALETTE OF MATERIALS

The village must differentiate itself as a special and unique destination; an effective way of achieving this is through the use of a distinctive material palette. This provides a common unifying theme without requiring all buildings to basically look the same.

The use of treated (sealed etc.) but 'raw' finishes is preferred as it helps to better communicate the simple materiality of buildings. Paint, plaster, or other 'masking' finishes - while appropriate in some instances - should be carefully considered in conjunction with the Jack's Point Design Review Team.

This will help to ensure that while each building will have its own architectural variation from neighbours, a coherent feeling and sense of place will still be achieved.

The essence or inspiration for the Jack's Point palette of materials is drawn from the site itself and its surrounding raw environment.

Materials should be used as an integrated part of design and form rather than as simple 'cladding'.

In the case of Jack's Point, the following plain materiality is appropriate given the rocky, mountainous landscape and character:

- Timber;
- Metal;
- Stone;
- Concrete;

- Glass.

2.6.1 COLOUR

Colours are to relate to the surrounding environment;

Paint colours are to be recessive with a maximum LRV of 30%;

Paint is to be a matte finish;

Stain colours shall be of a natural hue or dark charcoal, browns, or greys rather than with a coloured hue. Redwood type stains are not acceptable.

All roofing details i.e. gutters, downpipes and flashings shall be of material and colour to complement the roof or wall materials. No PVC material shall be used.

Roofing should be matte finish in dark, recessive colours in the range of browns, greys, or charcoals.

2.7 LANDSCAPE

The following is seen as a framework and guideline for landscape designers and architects to understand the broad criteria they must design within.

Throughout the Jack's Point Village, the elements of the landscape shall be consistent and follow a material hierarchy that flows through the village, responding to the existing residential environment and surrounding open space.

Landscaping of a site shall be considered at the time of building design to ensure its integration with and continuity between public and private space. The relationship between buildings and landscape should appear as a well-integrated and seamless design.

The edges of a building and their interaction/interface with the immediate landscape and the greater landscape must be carefully considered. This will ensure continuity of built landscape and a synergy with the greater landscape, to ensure that the development of the village is always seen as a coherent whole and an identifiable place in that landscape.

Landscaping shall be undertaken in accordance with and from the categories of landscaping as detailed below:

2.7.1 SOFTSCAPE

The soft landscape will generally be made up of a mixture of both indigenous and exotic vegetation. The key philosophy for the design of the soft landscape is summed up under the simple notion of 'appropriate planting'. This will take into account microclimate, surrounding

land use, soil condition, ongoing water requirements, and the use of appropriate species that reflect the local environment etc.

The Jack's Point Village Plant list is seen as a work in progress and is not viewed as being definitive. The approach has been to break the soft landscape into planting categories i.e. shelter trees, street trees, amenity trees, hedging, riparian planting and ground covers.

The streetscape and general public spaces will include, but will not be limited to, the species listed below. Individual development sites will need to include some of these species into their landscape plans to ensure a level of continuity between the public and private space, although individuality/creativity is encouraged on a site by site basis. Some development sites will have limited ability to deliver landscape opportunities, due to their high building site coverage. These sites will rely on the streetscape to provide landscape amenity.

2.7.2 STREET TREES

The use of indigenous tree species for street planting is encouraged. However, seasonality is something the Lakes District is known and celebrated for. Therefore, autumn colour in the street tree selection is seen as highly desirable. Therefore the use of exotic species for street trees will be considered within the Village.

AMENITY TREES

The mass planting of indigenous tree species will be encouraged in areas such as the surrounding open space and pedestrian linear parks that link the residential areas to the village. Native beech species as well as kowhai and ribbonwood have been used extensively around Jack's Point. Using these species in linear parks will further visually connect the surrounding residential and open space areas with the village.

2.7.3 HEDGING

Hedging will play an important part in certain areas of the village streetscape. Soft boundaries, between private space and public realm, has been encouraged in the residential areas. This is also encouraged in the village area, between for example residential development and the streetscape. Height is restricted to 1.2m where fronting public spaces. Appropriate species to be used are broadleaf, viburnum and pittosporum. Other hedge species such as hornbeam or English beech would also be appropriate.

2.7.4 RIPARIAN PLANTING

The lake, which sits to the east of the village, will have a variety of edge treatments e.g. grassed, boardwalk, jetty or building. Some areas where public access is not required, will be 'naturalised' using the following species: NZ flax, carex species and red tussock, kowhai. It is also deemed appropriate in certain areas to plant species such as willow, where shade is required, a reference to more historic plant patterning around riparian areas.

2.7.5 GROUND COVER

In certain areas where low maintenance is preferred, groundcovers will be employed. These groundcovers range from indigenous tussock species e.g., red tussock, silver tussock, hard tussock through to small hebes and parahebes. Exotic species such as vinca and astelia (iris) will also be appropriate.

2.7.6 HARDSCAPE

The areas included in the term 'hard landscape' are street furniture, lighting, paving types, signage and infrastructure. The palette of hard landscape will be appropriate to the scale, setting and intended use.

Roading shall be formed in materials to include, but not limited to gravel, asphalt, concrete, and stone sets.

Green streets: the streetscape shall reflect best practice Urban Design Principles in terms of green engineering and stormwater run-off.

Pedestrian Ways shall be formed in materials to include, but not limited to stone paving, exposed aggregate concrete paving, loose schist chip, unitised concrete, and wooden boardwalks.

All street furniture shall be designed and chosen as a comprehensive package; this includes seating, bollards, bike stands, bus stops and rubbish/recycling containers as well as traffic signage.

2.7.7 LIGHTING

All lighting on landscape and buildings shall be designed and chosen as a comprehensive package; this includes in-ground lighting, wall washers, recessed lighting, and standard pole lighting. Fixtures should be chosen for, amongst other things, their energy efficiency. Lighting should generally be designed to minimise light spill, light trespass, and light pollution.

Lighting design should comply with QLDC standards in particular Southern Light strategy and reflect best practice urban design standards. (CPTED etc.)

2.7.8 FENCING AND RETAINING

Any Walls/Hedges or Fences fronting public space shall not exceed 1.2m in height.

Proposed applications to exceed this limit shall only be considered with accompanying analysis to illustrate that the barrier proposed does not have an adverse effect on the private public interface due to limited length/context.

Proposed barriers up to 1.8m in height shall be considered for approval by the Jack's Point Design Review Board.

Walls and Fencing shall be formed in materials to include but not limited to insitu concrete, drystone walls, post, and rail fencing.

Retaining walls over 1.5m require DRB approval with respect to design and materials.

2.8 MANAGING WASTE AND RECYCLING

Sufficiently sized, suitably screened storage space is required within the site to meet the rubbish and recycling storage needs of all activities within the development. This is likely a shared bin storage space controlled by a business operator.

It is important that waste/recycling storage is conveniently accessible from the unit/s it serves while also being located at a distance that reduces the impact of noise and odours.

Spaces should be designed to facilitate the separation of general waste, food waste/organics and recycling.

Designs should ensure these spaces can be easily cleaned.

Waste storage should not dominate the main entrance to any unit within the development, or to neighbouring buildings.

The importance of weatherproofing for the context, scale and bin type etc should be considered.

The design should facilitate the efficient collection of waste and any potential negative impact of its collection on the streetscape by locating waste and recycling storage close to service areas or loading bays allowing convenient truck access.

2.9 SERVICE ELEMENTS AND PLANT

House all machinery and building services equipment in an architecturally attractive manner.

Integrate large scale plant such as vents and transformers as explicit and coherent parts of the overall architectural composition. This may be as part of the building top or at ground.

Smaller scale external service elements such as air conditioning units, water heating units, gas bottles and water tanks, should not be visible from the public realm, dominate entrances or be located in a main area of private open space. The positioning of such elements should minimise noise nuisance to neighbours. Locating these elements on balconies is not acceptable.

These elements should be screened and/or painted in recessive materials and colours per the overall palette of the building and its supporting landscaping.

Electrical antennae, wastewater pipework or other ducting should generally not be visible from the public realm.

Clotheslines are generally not appropriate.

Water Tanks and associated pipework should be visually unobtrusive. Tanks may only be sited in front yards if they are underground.

2.10 SUSTAINABILITY

Carbon reduction and energy efficiency are key drivers within the Jack's Point Village development. The following list of should be considered within site and building design with further sustainable practices encouraged:

- Select low carbon and carbon banking materials;
- Specify locally sourced/manufactured materials (reducing travel/shipping distances);
- Design to optimise sunlight/daylight access and opportunities for natural ventilation;
- Utilise low energy fittings;
- Install insulation over and above minimum requirements;
- Encourage and provide for active transport modes;
- Provide for non-fossil fuel transport.

2.10.1 WASTE REDUCTION

The full lifecycle of products used within the construction process should be considered when undertaking the design. These should include but not be limited to the following:

- Design in modules relative to material selections to reduce off cuts and waste;
- Manage construction waste disposal;
- Include adaptive re-use of recycled materials;
- Consider end of life processes for materials.

2.10.2 WATER

New development should improve the quality and reduce the quantity of stormwater runoff.

This could be through:

- Using materials with reduced/no contaminants;
- Minimising impervious surfaces;
- Providing filtration and attenuation around car parks and other large impervious surfaces;
- Providing roof gardens and vegetation on surfaces which would typically be covered by cladding;
- Capturing roof runoff in stormwater retention tanks for re-use
- Soakage/ground water recharge.

Water conservation should be incorporated into both landscape and building design.

This could be through:

- Water efficient appliances and fittings;
- Reducing demand on mains by recycling captured stormwater as greywater;
- Greywater capture for use in gardens etc;
- Plant and tree species that do not require regular irrigation.

3 / MIXED USE PRECINCT DESIGN CONTROLS

3.1 CHARACTER AREAS

The mixed-use precinct features four character areas that determine the particular controls that guide the appropriate architectural and landscape responses for each scenario:

- Main Street Character Area;
- Market Character Area;
- Village Square Character Area;
- Piazza Character Area.

These character area controls are designed to ensure a high-quality built environment for both residents and visitors to enjoy as they move through the site and when viewing it from surrounding precincts or landscape features.

3.1.1 MAIN STREET CHARACTER AREA

The Main Street character area features the most urban built form outcome in the Village, characterised by short or no building setbacks, a fine architectural grain, rich variety in facade width and form articulation, buildings with a high level of engagement with the street and an architectural rhythm that preferences verticality over horizontality along with a high degree of permeability.

Modulation of both the front elevation and three-dimensional form of the building is used to break up the appearance of bulk:

- Regular separation between built form ensures visual and pedestrian permeability;
- Individual units are to be recognisable through architectural form and facade treatment;
- Adjacent buildings should be intentionally different in their form and facade treatment;
- Buildings should typically feature canopies over the footpath;

Continuous frontage is expected between publicly accessible openings or breaks between buildings in the form of pedestrian links and laneways.

3.1.2 MAIN STREET CHARACTER AREA - CONTROLS

Building height: Maximum Building Height = 12m

Ground floor, floor to ceiling height: Minimum 3.5m

Ground floor use: R Temporary residential use to align with market demand is permitted, provided DRB approval for residential and commercial use is provided.

Where Visitor Accommodation occurs on the Main Street Frontage, habitable rooms should be confined to upper levels only, with the ground floor reserved for lobbies, restaurants and other non-habitable uses that have high engagement with the street.

Building Setback: No minimum building setbacks are required within the Main Street Character area to encourage variation... Larger setbacks are encouraged where food and beverage, and retail outlets are proposed in order to create active courtyard spaces fronting the street.

South Side of Streets: Minimum 0m – Maximum 2m

North Side of Streets: Minimum 1m – Maximum 3m

Building Length: Maximum 27m

Vehicle crossings are not permitted to the main street frontage.

A fundamental characteristic of the main street frontage is that its architecture contributes to a finely grained and richly varying streetscape experience for pedestrians.

This is to be achieved using a combination of two techniques:

Facade modulation: dividing the building facade into modules to ensure an architectural rhythm that preferences verticality over horizontality, even in longer more horizontal buildings.

Form articulation: the manipulation of the space a building occupies within its allowable envelope (through adding and subtracting three-dimensional form, varying the roofline, and the application of cladding and glazing) in order to influence the texture, scale and grain of the building's appearance, and contribute to a varying streetscape frontage. (refer also to precinct wide Facade Composition and Scale guidance).

Designers are expected to apply these techniques with reasonability, faithfulness to the intent and in ways that are meaningful to the building's uses, location, and orientation.

3.1.3 MARKET CHARACTER AREA

As a key entry point to Jack's Point Village, this block needs to exhibit architecture of great merit, focused particularly to the corner where the marker building shall be located.

Earmarked to feature a boutique grocery market, an area of carparking can be anticipated. This shall be sleeved with high quality architectural and landscape screening wherever it fronts the street.

Larger barn forms are appropriate here and should read as a cluster of agrarian type buildings to form one collective "marketplace".

3.1.4 MARKET CHARACTER AREA – CONTROLS

Building height: Minimum 2 storeys, 9m. Marker Building: 12m.

Ground floor, floor to ceiling height: Minimum 3.5m

Building setback: min 2.5m

Ground floor use: Retail or Commercial only. (No Residential, No Visitor Accommodation)

Vehicle crossings are to be limited to a single entrance and exit only.

3.1.5 VILLAGE SQUARE CHARACTER AREA

The Village Square is an urban plaza space featuring open, active frontages that should allow for seamless integration and flow in and out of the buildings surrounding it.

The Plaza will function as a key public meeting space and may also function as a drop off space for guests.

3.1.6 VILLAGE SQUARE CHARACTER AREA CONTROLS

Building height: Minimum 2 storeys, 9m.

Ground floor, floor to ceiling height: Minimum 3.5m

Building setback: 0m

Ground floor use: Retail or Commercial only. (No Residential, No Visitor Accommodation)

3.1.7 PIAZZA CHARACTER AREA

The piazza is complimentary to the Main Retail Street and is a cobbled, hard surfaced space surrounded with active retail / commercial frontage.

PIAZZA CHARACTER AREA CONTROLS

Building height: Minimum 2 storeys, 9m.

Ground floor, floor to ceiling height: Minimum 3.5m

Building setback: 0m

Ground floor use: Retail or Commercial only. (No Residential, No Visitor Accommodation)

Building materiality: Building facades fronting the Piazza are to be predominantly local stone.

3.2 MIXED USE PRECINCT BUILDING DESIGN GUIDANCE

Key Considerations:

- How does the building contribute to the definition of the streetscape and other public spaces;
- Does the building relate to the character anticipated by the particular street environment;
- How does the building add to the public experience;
- How does the building facilitate places for encounters or public interaction;
- How has the land use compatibility along neighbouring boundaries (e.g. between a commercial and residential boundary) been considered in the building design in terms of visual and audio privacy to residents and associated outdoor spaces;
- How has the building's design taken into consideration neighbouring buildings and properties with respect to privacy, solar access, and shade;
- How well does the building(s) relate to the village as a whole, adding to the town's beauty and sense of "uniqueness", while becoming an integral part of the local perception of space and location;
- Are uses and activities combined in a way that neutralise or minimise potential negative effects on each other (particularly around noise disturbance).

3.2.1 DESIGNING IN CONTEXT

Building designs are encouraged to be distinctive and reflect the preferences of the individual. However, it is important that building design still expresses that they are clearly within the Jack's Point Village.

Jack's Point is both a sunny and windy site. Buildings in this landscape must recognise these elements and develop strategies to both respond to and make the best use of these environmental conditions. The placement of windows, the thickness of walls and the need for shelter must reflect this environment to develop a high-quality village urban environment.

Buildings shall where possible, respond to and frame the larger views beyond the village. (e.g. The Remarkables, Cecil Peak etc)

3.2.2 FACADE COMPOSITION, FORM ARTICULATION AND SCALE

Façades are described as the street frontage or frontages of any building.

Façades should be designed to:

- create a diverse, interesting street appearance;
- avoid excessive building mass;
- include variation in the use of materials;
- provide a strong and coherent human scale street frontage.

Facade composition includes the arrangement of windows, doors and architectural detailing to provide variety and rhythm to a facade.

The front, or street facing façade of a mixed-use building should be articulated in a way that visually diminishes the overall bulk of the building and provides balanced proportion and scale relative to height. The expression of verticality should be prioritised over horizontality.

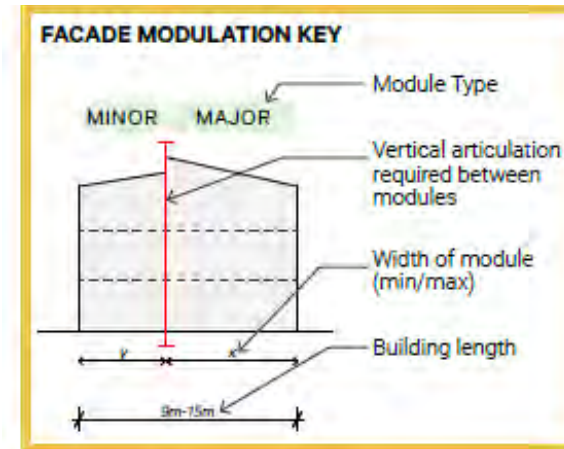
The design of facades in multi-unit buildings should emphasise the width of individual units and in this way break the facade into smaller vertical elements.

'Honest' construction of crisp, clean lines is preferred.

Facades featuring doors and windows should be the dominant feature along streets.

Use architectural recesses, solids, voids, shadows, and light to help express texture, façade variation and appropriate visual scale adjacent public places. Blank or unrelieved facades shall be avoided, particularly from the public realm.

3.2.3 FACADE MODULATION



The configuration of major and minor modules is inter-changeable, and designers may choose to order them in a way that suits the building's use and site. In doing this, the wider streetscape elevation must be considered, with the design responding to the façade rhythm of adjacent buildings in a way that ensures variety and interest along the street.

Facade modulations may or may not relate to internal building subdivision/separate tenancies but the internal activity and external façade features such as windows and doors should be carefully aligned and thoughtfully integrated with façade modules.

There should be a maximum number of two 'Major' modules on any one building's façade.

No more than two modules of the same width should appear consecutively on the same building.

FACADE MODULATION	
	<p>Building Length Up to 9m</p> <p>Module width: 9m max</p> <p># of modules min: 1</p> <p>Variety of module width: Only one width type required.</p>
	<p>Building Length 9-15m</p> <p>Module width: Major modules - 9m max Minor modules must be equal to or be a max of 2/3rds width of their adjacent module.</p> <p># of modules min: 2</p> <p>Variety of module width: Only one width type required.</p>
	<p>Building Length 15-21m</p> <p>Module width: Major modules - 9m max Minor modules must be equal to or be a max of 2/3rds width of their adjacent module.</p> <p># of modules min: 3</p> <p>Variety of module width: min 2 width types required.</p>
	<p>Building Length 21-27m (27m max)</p> <p>Module width: Major modules - 9m max Minor modules must be equal to or be a max of 2/3rds width of their adjacent module.</p> <p># of modules min: 4</p> <p>Variety of module width: min 2 width types required.</p>

3.2.4 REAR AND SIDE ELEVATION TREATMENTS

Where they are visible from streets, open spaces, public walkways and commercial spaces, rear and side elevations require special architectural attention.

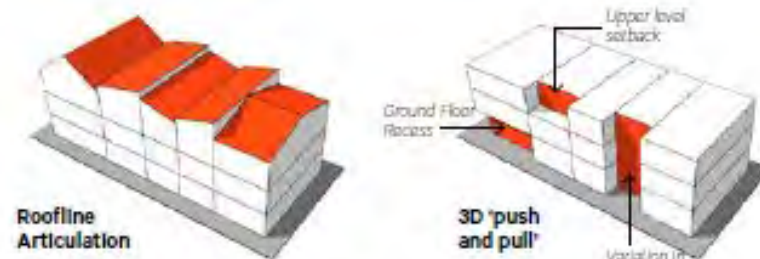
It is expected that the architectural treatments of these elevations maintain the same quality as the front elevation in terms of materiality, placement of windows and other architectural elements.

FORM ARTICULATION

Variety in three-dimensional form is expected, both within and between buildings.

Each facade module of a street or laneway facing elevation should appear different to its neighbour in at least one of the following aspects of three-dimensional form:

- Roofline articulation;
- 3D push and pull: Variation in building line;
- 3D push and pull: Upper-level setback*;
- 3D push and pull: Ground floor recess.



*Note: Upper-level setback is only permitted on buildings three or more storeys high.

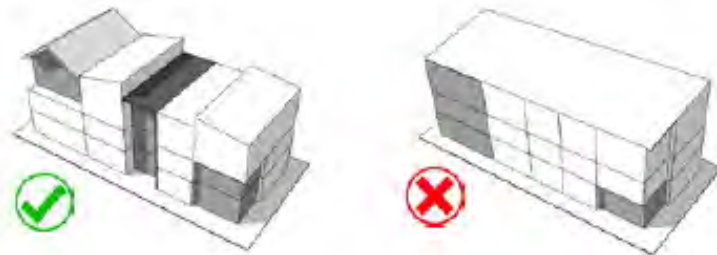
In conjunction with the above, facade modules should also exhibit Cladding and Glazing treatment that contributes to a cohesive variety across the entire building face.



There are other components of form that the designer could utilise, such as balconies, artwork etc which should also be explored where they are relevant to the building's use and site. These are typically to be considered in addition to, but may be accepted in place of, the above techniques at the discretion of the Design Review Board.

Variations in building line should occur within the maximum setback distance. The maximum number of adjacent façade modules that can feature the same building line is 2.

Adjacent buildings should be designed to enhance the variety of three-dimensional form articulation along the street.



3.2.5 BUILDING LINE

Ensure that streets are spatially well contained and well defined by buildings along their edges.

Buildings fronting streets are generally sited to a building line determined by front setbacks where applicable within the character areas.

3.2.6 ROOFSCAPE

Buildings should be designed to include rich roof forms of varied planes and lines, the profile of the roofline against the sky should have interest and variety avoiding repetitive rooflines and forms

Roof forms should not conflict however, with the underlying lines of the mountainous backdrop that are visible from a site. (ie. Curved rooflines)

3.2.7 SUNLIGHT

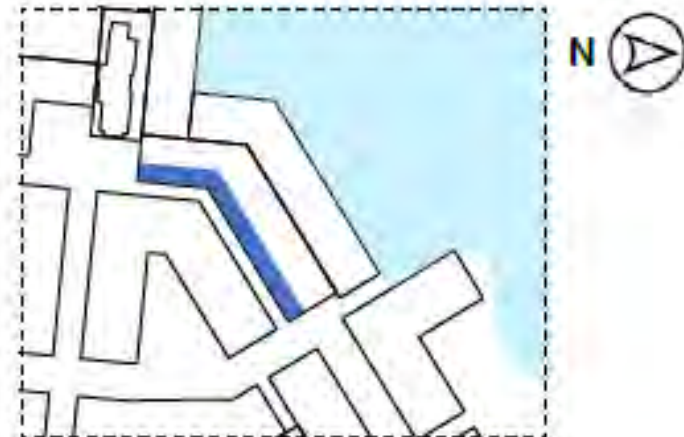
Consider how the building will influence the shade and shelter of public spaces; Does the building create microclimates with regard to sun, wind and rain and thus create appropriate conditions for public places i.e squares, plazas, village greens, courtyards?

Position and design the floor plan and windows of all residential units to receive the maximum possible hours of sunlight into living spaces, particularly in mid-winter.

Applicants are required to provide a sunshade analysis to the DRB for approval.

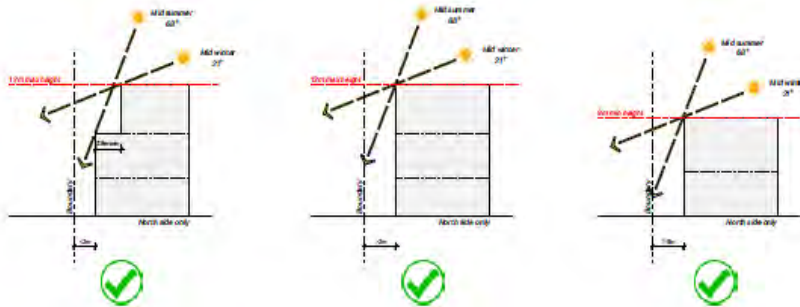
3.2.8 SUNLIGHT ACCESS TO MAIN STREET

Additional setback guidance applies to the frontage outlined on the adjacent plan to preserve sunlight into the Main Street.



Buildings higher than 9m with boundary setback <2m should include upper-level setback of min 2.5m for 50% of the building length.

This is to be meaningfully incorporated through adherence with Façade Modulation and Form Articulation guidance outlined above.



3.2.9 INTERNAL PRIVACY

In the design of buildings, views must be considered both to and from private spaces. Privacy between neighbours, especially in regard to residential occupation, must take precedent over views.

Position windows adjacent to public or communal areas to minimise loss of privacy for the resident, while still maintaining passive surveillance over the public realm.

3.2.10 INTERFACES BETWEEN USES/ COMPATIBILITY OF USES

Compatibility of uses is an essential factor in determining the success of a mixed-use development. The majority of current business and commercial activity is compatible with residential development, such as shops, offices, cafes, educational and institutional facilities, early childhood education, urban type retirement villages, libraries and community centres.

Uses that are not compatible and therefore not appropriate within mixed use areas are those that produce high levels of noise, vibration, odours or other adverse effects that cannot be appropriately controlled by design or operational methods.

Consideration of the compatibility of adjacent uses should occur at the earliest stages of the design process to ensure the mitigation or elimination of potential conflicts. If mitigation measures are not possible, then uses should not be co-located.

Designers are encouraged to consider and mitigate against issues that may arise from:

- the relative scale and size of each adjacent use;
- differences in operating times between adjacent uses;
- visitor circulation relative to private residential parts of the development;
- the locations of servicing, deliveries and refuse collection relative to residential units;
- accessing private vs. public carparking;
- noisy vs noise sensitive activities or user groups.

3.2.11 GROUND LEVEL DESIGN

Facades with doors and windows should be the dominant feature along streets.

In designing the ground level to contribute positively to the village streetscape environment, the following principles should be considered:

- Maximise the number and position of entrances at ground level are to well considered in order to contribute to safe and active streets and provide visual interest to the public realm;
- Provide clear demarcation between private, semi-public and public space, particularly at ground level;
- Incorporate universal design principles wherever practical;
- Avoid blank façades and ground floor parking beneath apartment buildings that are visible from the public realm.

The main/shared entrance to apartment units should be located facing the street and be clearly visible/legible.

Transitional spaces between the public street and building interiors are encouraged to signal the location of entrances, enhance the sense of arrival, and provide shelter.

Entrances to commercial, retail, or residential uses should be separated and clearly differentiated at street level.

Where there is retail or commercial activity on ground level, the provision of a canopy line or awning is very desirable as it provides protection for pedestrians along key routes. Position awnings above entrances to create shelter and a visually legible entry into the building from the street.

3.2.12 GROUND FLOOR RESIDENTIAL

In cases where the commercial viability of non-residential use cannot be proven; Residential units may be appropriate for ground floors.

In these locations a strong public private threshold should be provided through vertical separation (raised threshold), increased building setbacks, recessed entranceways, and landscaping.

Keep fencing low and provide boundary planting treatment to enhance the street edge and provide amenity for residential occupants.

Individual street-front entrances for residential dwellings should be used to provide added activity and interest to the public realm and future proof for the conversion of units to non-residential use in the future.

3.2.13 PRIVATE OUTDOOR SPACE

Ensure all residential units are provided a useable outdoor space with sunny aspect and shelter from the wind that is directly connected to the internal living area and can be comfortably utilised for outdoor dining.

Use balconies or roof terraces to deliver quality private open space for above ground dwellings or dwellings where the primary living space is above ground level.

Design to include privacy from neighbours located beside and above when designing balconies and ground floor outdoor space in multi-unit developments.

This could be through:

- Semi-recessed and recessed balconies;
- Side separation/screening between balconies;
- Recessing the ground floor behind the main building line.

Plan outdoor living areas and position windows of main internal living areas so that they do not have a direct short-range view into the main private open space of adjacent dwellings.

Consider the potential impact on sunlight access when designing and locating privacy screens. A low, or visually permeable screen can often provide privacy without blocking light.

Designers are encouraged to consider shared or communal private open space for multi-unit developments. These spaces should:

- Inform the site layout of the development;
- Have direct or easy connection to all dwellings served;
- Be sunny, sheltered and offer views to the wider landscape;
- Be well proportioned, balancing a feeling of intimacy with openness and flexibility of use;
- Large scale developments where children are likely to live should consider inclusion of play features, located with consideration of their access, safety, surveillance, and potential noise.

3.2.14 ENTRANCES

Entrances play a critical role in delivering positive streetscape interface and connectivity and as such, should be visible and readily accessed from the street or common areas within the development.

Entrances should not be dominated by service spaces and activities including but not limited to waste storage, water heaters, air conditioning units or other plant.

Main entrances to multi-unit buildings should be visible, attractive, safe and well-lit, and placed to provide good physical and visual connections between the street and lobby spaces.

3.2.15 SIGNAGE

Include platforms for future signage in the design of building facades or verandas to avoid signage appearing as being 'added' onto a building façade.

All signage design shall be submitted to the Design Review Board for approval and shall be generally consistent with the materiality, colour and style found on the buildings that they relate to, to ensure consistency.

3.2.16 LIGHTING

Lighting: All lighting on landscape and buildings shall be designed and chosen as a comprehensive package; this includes in-ground lighting, wall washers, recessed lighting, and standard pole lighting. Fixtures should be chosen for, amongst other things, their energy efficiency. Lighting should generally be designed to minimise light spill, light trespass, and light pollution.

Lighting design should comply with QLDC standards in particular Southern Light strategy, and also reflect best practice urban design standards. (CPTED etc.)

3.3 MIXED USE PRECINCT SITE DESIGN GUIDANCE

Key Considerations:

It is essential that the fundamentals of site planning are adhered to for every building or group of buildings:

- Does the landscape design associated with the building, strengthen the existing neighbourhood identity;
- How have the views and vistas of mountains, lakes or public realm been considered in the site planning;

- How does the siting of the building or buildings assist in the creation of microclimate with regard to sun, wind and rain and thus create conditions for a restful quiet and safe environment;
- How well does the building accommodate service vehicle, private vehicle, and bike access without compromising other urban design principles;
- How has parking and parking access been addressed in the overall 'access' strategy;
- Is the development arranged in a clear and legible way, so it is safe and comfortable for everyone at anytime.

3.4 ACCOMMODATING VEHICLES

3.4.1 DRIVEWAYS AND GARAGES:

Individual driveway crossings and garages to street edges are strongly discouraged in the mixed-use precinct.

If locating driveways or carparking on individual lots, ensure that parked cars, garage doors or any retaining walls associated with the creation of the carpark space, are not dominant elements at the street edge through appropriate landscape treatments.

3.4.2 COMMUNAL/GROUPED CAR PARKING:

Communal or grouped car parking, decoupled from individual units, is the preferred type of parking provision in this precinct and may occur as open air/at grade parking on the block, or incorporated within a building footprint.

Surrounding units should offer passive surveillance of the carpark, for safety, through careful location of windows and upper-level habitable rooms.

3.4.3 VEHICLE ACCESS LANEWAYS:

Laneways primarily for service vehicle access, rear access to garages or car parking also provide an important role in terms of open, communal, and pedestrian amenity space within the Mixed Use Precinct.

All laneways should provide or link to a continuous pedestrian connection through the block.

Shared surfaces are encouraged in order to indicate equal status to pedestrians and vehicles so that separate footpaths may not be required.

Laneway designs should consider the potential for alternative uses encouraging residents to socialise, such as block parties, children's bike riding etc.

In more urban laneways, vertical landscape elements such as climbers should be considered.

Lighting should be provided along lanes with public street lighting aligned wherever possible to the entrance of laneways.

Physical speed restrictions such as speed tables, chicanes or carriageway narrowing are encouraged.

Garage dominance is to be avoided; garages doors should be integrated into the rear facade design where possible.

3.4.4 MANAGING WASTE AND RECYCLING

Within the Mixed-Use Precinct a shared bin storage space is preferred. Individual bin spaces associated with residential dwellings may occur - as long as this is provided for in screened areas.

It is important that waste/recycling storage is conveniently accessible from the unit/s it serves while also being located at a distance that reduces the impact of noise and odours.

The design should facilitate the efficient collection of waste and any potential negative impact of its collection on the streetscape by:

- Ensuring waste collection for individual units can be accommodated in the streetscape or laneway without pedestrian amenity or safe access to driveways being compromised by the number/spatial requirement of bins on collection day;
- Locating group waste and recycling storage close to service areas or loading bays allowing convenient truck access.

3.4.5 SERVICE ELEMENTS AND PLANT

Electrical antennae, wastewater pipework or other ducting should generally not be visible from the public realm.

Clotheslines should be sited in rear or side yards and must not compromise private outdoor space or be visible from public realm. Clotheslines should be linear and retractable or fold away.

Water Tanks and associated pipework should be visually unobtrusive. Tanks may only be sited in front yards if they are underground.

4 / VISITOR ACCOMMODATION PRECINCT GUIDELINES

The Visitor Accommodation precinct features three character areas that determine the particular controls that guide the appropriate architectural and landscape responses for each scenario:

- Waterfront Promenade Character Area;
- Lakeside Visitor Character Area;
- Village Green Character Area.

These character area controls are designed to ensure a high-quality built environment for both residents and visitors to enjoy as they move through the site and when viewing it from surrounding precincts or landscape features.

4.1 WATERFRONT PROMENADE CHARACTER AREA

An urban, landscape frontage with a strong relationship to the Village Centre, characterised through broken, staggered, and permeable edges to the built form allowing interaction with the landscape and lake edge. The architecture should express verticality over horizontality. Buildings should engage positively with the lake edge and may skew their orientation to make the most of views, sunlight and maximise permeability/lakeside access for pedestrians.

Vertical and horizontal separation utilising appropriate landscape treatments is recommended to facilitate privacy for accommodation units, and for the separation of pedestrian movement and seating zones for café/restaurant outdoor dining decks.

Ground floor use: Non-residential only. Where public access occurs adjacent to Visitor Accommodation - in this precinct, habitable rooms should be confined to upper levels where possible, with the ground floor reserved for lobbies, restaurants and other non-habitable uses that have high engagement with the street/waterfront promenade areas. Where habitable rooms do occur at ground level, adequate separation between public and private spaces must be provided for in the form of level change and/or buffer planting.

WATERFRONT PROMENADE CHARACTER AREA – CONTROLS

Building height: Minimum 2 storeys

Building Length: Maximum 25m

Building setback: Minimum 1.5m landscaped interface with edge of promenade

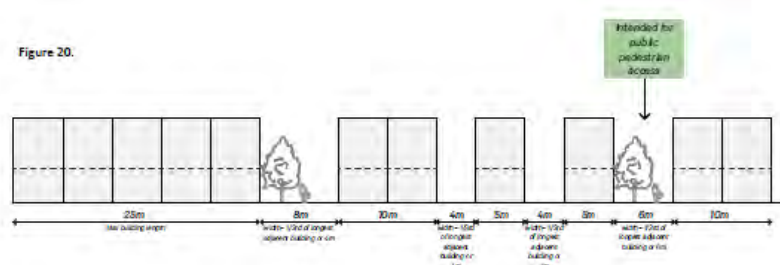
Building materiality: Building cladding to be predominantly timber

Vehicle crossings are not permitted.

Discontinuous/broken frontage

Regular and visibly open 'gaps' between buildings are expected along this frontage to allow both visual and physical permeability along the lake edge. The relationship between built and open frontage is to be as follows:

- The ends of blocks should be occupied by built form, which is subject to corner site guidance outlined in Part 3 of the Guide;
- Gaps between buildings intended for soft landscape, private courtyards, or private/guest only access to units should be a minimum of 1/3 the length of the longest adjacent building, or 4m*, whichever is greater;
- *Unless intended to be a publicly accessible pedestrian link to the waterfront, in which case this dimension increases to 6m.



4.2 LAKESIDE VISITOR CHARACTER AREA

A more informal landscape frontage, but like the Waterfront Promenade Frontage it is characterised through broken, staggered, and permeable edges to the built form allowing interaction with the landscape and lake edge.

Buildings should engage positively with the lake edge and may skew their orientation to make the most of views, sunlight and maximise permeability/lakeside access for guests.

LAKESIDE VISITOR CHARACTER AREA – CONTROLS

Building height: 1-3 storeys

Building Length: Maximum Single Form 35m (VA-1,2,6,7 & 11)

Maximum Single Form 25m (VA-3,4 & 5)

4.3 VILLAGE GREEN CHARACTER AREA

The Village Green is a park like civic environment. The buildings that surround its southern edge are to be designed to provide shelter to the overall space, and facilitate sunny north facing café and restaurant 'spill out' into the Green itself.

This frontage also enjoys views over Lake Tewa, so facades are expected to be open in nature with glazing and balconies facilitating the enjoyment and maximisation of views over this landscape, and the civic space below, for the inhabitants of upper levels.

VILLAGE GREEN CHARACTER AREA - CONTROLS

Building height: Minimum 2 storeys, 9m. Marker Building: 12m.

Ground floor, floor to ceiling height: Minimum 3.5m

Ground floor use: Non-residential only. (where Visitor Accommodation occurs on the street frontage, habitable rooms should be confined to upper levels only, with the ground floor reserved for lobbies, restaurants and other non-habitable uses that have high engagement with the street),

Building Setback: 0-2m

Vehicle crossings are not permitted.

Main Street Frontage Façade modulation and Form articulation controls apply.

Outdoor dining may occupy an area of up to 3m from the building façade, thus occupying a portion of the reserve in places, provided it does not encroach on pedestrian desire lines or promenade locations. Applicants are expected to show the extent of outdoor dining on all concept plans for approval by the DRB.

4.4 VISITOR ACCOMMODATION BUILDING DESIGN GUIDANCE

Key Considerations:

- How does the building contribute to the definition of the streetscape and other public spaces;
- Does the building relate to the character anticipated by the street or landscape environment;
- How well does the building / development orientate to key views;
- Does the building provide sheltered, private spaces for guests;
- How well does the building address inter-privacy issues between guests;
- How does the building add to or minimise impact on public experience;
- How does the building facilitate places for encounters or public interaction;
- How has the land use compatibility along neighbouring boundaries been considered within the building / development plans in terms of visual and audio privacy to others and associated outdoor spaces;
- How has the building's design taken into consideration neighbouring buildings and properties with respect to privacy, solar access, and shade;
- How well does the building(s) relate to the village as a whole, adding to the town's beauty and sense of "uniqueness", while becoming an integral part of the local perception of space and location.

4.4.1 DESIGNING IN CONTEXT

Building designs are encouraged to be distinctive. However, it is important that building design still expresses that they are clearly within the Jack's Point Village.

Jack's Point is both a sunny and windy site. Buildings in this landscape must recognise these elements and develop strategies to both respond to and make best use of these environmental conditions. The placement of windows, the thickness of walls and the need for shelter must reflect this environment.

Buildings shall where possible, respond to and frame the larger views beyond the village.

4.4.2 ROOFSCAPE

Buildings should be designed to include rich roof forms of varied planes and lines, the profile of the roofline against the sky should have interest and variety.

Roof forms should not conflict however with the underlying lines of the mountainous backdrop that are visible from a site.

Roof forms should not conflict however, with the underlying lines of the mountainous backdrop that are visible from a site. (ie. Curved rooflines).

4.4.3 FACADE COMPOSITION AND SCALE

Facade composition includes the arrangement of windows, doors, and architectural detailing to provide variety and rhythm to a facade.

The front, or street facing façade of large scale or multi-unit building such as a hotel should be articulated in a way that visually diminishes the overall bulk of the building and provides balanced proportion and scale relative to height. The expression of verticality should be prioritised over horizontality.

Use architectural recesses, solids, voids, shadows, and light to help express texture, façade variation and appropriate visual scale adjacent public places. Blank or unrelieved facades shall be avoided, particularly from the public realm.

4.4.4 SUNLIGHT

Consider how the building will influence the shade and shelter of public and private spaces. Does the building create microclimates with regard to sun, wind and rain and thus create appropriate conditions for public and private (guest spaces).

Applicants are required to provide a sunshade analysis to the DRB for approval.

4.4.5 SIGNAGE

Include platforms for future signage in the design of building facades or verandas to avoid signage appearing as being 'added' onto to a building façade.

All signage design for branded hotels, lodges, cabins etc shall be submitted to the Design Review Board for approval and shall be generally consistent with the materiality, colour and style found on the buildings that they relate to, to ensure consistency.

4.4.6 GROUND LEVEL DESIGN

In designing the ground level to contribute positively to the village environment, whether as part of a streetscape or for a building in the landscape, the following principles should be considered:

- Provide clear demarcation between private, semi-public, and public space, particularly at ground level;
- Incorporate universal design principles wherever practical;

- Avoid ground floor parking beneath buildings that is visible from the public realm.

4.4.7 ENTRANCES

The main/shared entrance to apartment style units should be located facing the street and be clearly visible/legible.

Where common entries occur, such as at lobbies or apartment style units, transitional spaces between the public street and building interiors are encouraged to signal the location of entrances, enhance the sense of arrival, and provide shelter.

Each terrace or standalone unit should feature its own 'front door' access to the environment they front, whether it be streetscape, waterfront promenade or park like landscape.

4.5 VISITOR ACCOMMODATION SITE DESIGN GUIDANCE

Key Considerations.

It is essential that the fundamentals of site planning are adhered to for every building or group of buildings:

- Does the landscape design associated with the building, strengthen the existing neighbourhood identity;
- How have the views and vistas of mountains, lakes or public realm been considered in the site planning;
- How does the siting of the building or buildings assist in the creation of microclimate regarding sun, wind and rain and thus create conditions for a restful quiet and safe environment;
- How well does the development accommodate vehicle access and parking without compromising guest and public amenity.

4.5.1 ACTIVE STREETS

Passive surveillance is critical to achieving a safe and active street environment.

Respond to the street or other public realm in the placement of glazing areas, habitable rooms and activities which interact with the street, while maintaining a coherent internal efficiency.

4.5.2 ACCOMMODATING CYCLING

The network of recreational cycle trails proposed could be considered a drawcard for visitors, therefore accommodation options should include bike storage that is easily

accessible and secure. Charging facilities for electric bikes should be included in storage locations.

4.6 ACCOMMODATING VEHICLES

Drop off and pick up areas (including coach) associated with accommodation need careful consideration to ensure they form an integrated part of the streetscape or laneway and do not compromise the pedestrian experience.

5 / RESIDENTIAL PRECINCT DESIGN GUIDELINES

The Residential Precinct envisages a mix of standalone, duplexes and terraced typologies. It features suburban style frontage conditions allowing homes and landscape to combine harmoniously in a continuation of the high-quality condition already existing in Jack's Point Residential areas.

5.1 RESIDENTIAL PRECINCT – CONTROLS

Village residential design applications will be assessed against the Jack's Point Village and Residential design guidelines where applicable to ensure consistency.

Building height: 1-3 storeys

Single storey homes should not occur on corners.

Building setback: Minimum 2.5m

Vehicle crossings: permitted.

If units are individually accessed from the street, they may feature a single vehicle crossing per lot.

5.2 BUILDING DESIGN GUIDANCE

Key Considerations:

- How does the building relate to and contribute to the character anticipated by the particular street environment;
- How well does the building(s) relate to the village as a whole, adding to the town's beauty and sense of "uniqueness", while becoming an integral part of the local perception of space and location;
- How have the building heights, roof lines and projections, façade articulation and relative scale been designed to enrich the village environment.

5.2.1 DESIGNING IN CONTEXT

Building designs are encouraged to be distinctive and reflect the preferences of the individual. However, it is important that building design still expresses that they are clearly within the Jack's Point Village.

Jack's Point is both a sunny and windy site. Buildings in this landscape must recognise these elements and develop strategies to both respond to and make best use of these environmental conditions. The placement of windows, the thickness of walls and the need for shelter must reflect this environment to develop a high-quality village urban environment.

Buildings at Jack's Point should respond to and respect the natural landscape, and in this way be based on 'honest' construction of crisp, clean lines.

5.2.2 ROOFSCAPE

Buildings should be designed to include rich roof forms of varied planes and lines, the profile of the roofline against the sky should have interest and variety.

Roof forms should not conflict however with the underlying lines of the mountainous backdrop that are visible from a site.

Integrate roof peaks with logical main entrances where possible to help enhance their legibility from the street.

5.2.3 FACADE COMPOSITION AND SCALE

Facade composition includes the arrangement of windows, doors, and architectural detailing to provide variety and rhythm to a facade.

Use architectural recesses, solids, voids, shadows, and light to help express texture, façade variation and appropriate visual scale adjacent public places. Blank or unrelieved facades shall be avoided, particularly from the public realm.

The design of facades in multi-unit buildings should emphasise the width of individual units and in this way break the facade into smaller vertical elements.

Facades featuring doors and windows should be the dominant feature along streets.

5.2.4 SUNLIGHT

Position and design the floor plan and windows of all dwellings to receive the maximum possible hours of sunlight into living spaces, particularly in mid-winter.

5.2.5 PRIVACY

In the design of buildings, views must be considered both to and from the physical object. Privacy between neighbours, especially in regard to residential occupation, must take precedent overview.

Position windows adjacent to public or communal areas to minimise loss of privacy for the resident, while still maintaining passive surveillance over the public realm.

Plan outdoor living areas and position windows of main living areas so that they do not have a direct short-range view into living spaces of adjacent dwellings.

5.2.6 PASSIVE SURVEILLANCE

Passive surveillance is critical to achieving a safe and active street environment.

Respond to public realm in the placement of glazing areas, habitable rooms and activities which interact with the street, while maintaining internal privacy.

5.3 SITE DESIGN GUIDANCE

Key Considerations:

- How does the landscape design associated with the building, strengthen the existing neighbourhood identity;
- How has the design taken into consideration neighbouring buildings and properties with respect to privacy, solar access, compatibility of uses and shade;
- How well does the design accommodate vehicular access and service elements without compromising other urban design principles;
- How have the views and vistas of mountains, lakes or public realm been considered in the site planning.

5.3.1 ENTRANCES

Entrances play a critical role in delivering positive streetscape interface and connectivity and as such should be visible and readily accessed from the street or common areas within the development.

Entrances should not be dominated by service spaces and activities including but not limited to waste storage, water heaters, air conditioning units or other plant.

Designs should allow appropriate personalisation by the occupants of the unit.

5.3.2 PRIVATE OUTDOOR SPACE

Ensure all units are provided a useable outdoor space with sunny aspect and shelter from wind that is directly connected to the internal living area and can be comfortably utilised for outdoor dining.

Consider providing balconies or roof terraces to deliver quality private open space for above ground dwellings or dwellings where the primary living space is above ground level.

Design to include privacy from neighbours located beside and above when designing balconies and ground floor outdoor space in multi unit developments.

This could be through:

- Semi recessed and recessed balconies;
- Side separation/screening between balconies;
- Recessing the ground floor behind the main building line.

Plan outdoor living areas and position windows of main internal living areas so that they do not have a direct short-range view into the main private open space of adjacent dwellings.

Consider the potential impact to sunlight access when designing and locating privacy screens. A low, or visually permeable screen can often provide privacy without blocking light.

Consider providing shared or communal open space in multi-unit developments. These spaces should:

- form the site layout focus of the development;
- have direct or easy connection to all dwellings served;
- Be sunny, sheltered and offer views to the wider landscape;
- Be generally flat, but may incorporate changes in level where these are designed to add to the visual and functional amenity of the shared space;
- Be well proportioned, balancing a feeling of intimacy with openness and flexibility of use.

Large scale developments where children are likely to live should consider inclusion of play features, located with consideration of their access, safety, surveillance, and potential noise.

5.3.3 MANAGING WASTE AND RECYCLING

Sufficiently sized, suitably screened storage space is required within the site to meet the rubbish and recycling storage needs of the unit/s. This may be a bin space associated with each dwelling or a shared bin storage space.

Spaces should be designed to facilitate the separation of general household waste and recycling, and be easily cleaned.

The design should facilitate the efficient collection of waste and any potential negative impact of its collection on the streetscape by:

- Ensuring waste collection for individual units can be accommodated in the streetscape without pedestrian amenity or safe access to driveways being compromised by the number/spatial requirement of bins on collection day.

5.3.4 SERVICE ELEMENTS AND PLANT

External service elements such as air conditioning units, water heating units, gas bottles and water tanks, should not be visible from the public realm, dominate entrances or be located in the main area of private open space. The positioning of such elements should minimise noise nuisance to neighbours. Locating these elements on balconies is typically not acceptable.

Clotheslines should be sited in rear or side yards and must not compromise private outdoor space or be visible from public realm. Clotheslines should be linear and retractable or fold away.

5.4 ACCOMMODATING VEHICLES

5.4.1 DRIVEWAYS AND GARAGES

Avoid concentrating garages at the street frontage, or repetition of garage doors along the street frontage. Minimising the visual impact of car parking and garage doors is a priority.

Where vehicle access from the rear is not possible, garages should be located to the side of the dwellings, recessed behind the front building facade.

When locating driveways or open carparking on individual lots, ensure that parked cars, expanses of hard surfacing or any retaining walls associated with the creation of the carpark space are not dominant elements at the street edge. Designers are expected to develop surfaces and landscaping to create an appearance of “front garden” rather than “parking space”.

Good visibility and clear sight lines for drivers and pedestrians are important, designers should ensure landscaping and fencing either side of vehicle crossings is of a low height and that driveways are straight and short. Rear lots with long driveways should be avoided.

Front door access paths should be distinguishable from driveways through differentiation of surface finishes or separation with soft landscaping.

5.4.2 COMMUNAL / GROUPED CAR PARKING

Communal or grouped carparking, decoupled from individual units, should be explored for multi-unit developments where it could improve streetscape and frontage outcomes or the quality of private outdoor space on the lot.

It is important that grouped car parking does not have a negative impact on the streetscape, as such, it should be located behind buildings or away from corners wherever possible.

Where groups of carparks do interface with public realm, a positive frontage with quality boundary landscape treatment such as low hedging is considered of high importance.

Surrounding homes should offer passive surveillance of the carpark, for safety, through careful location of windows and habitable rooms.

5.4.3 LANEWAYS

Laneways typically serve typologies other than apartments. They are primarily for rear access to garages or car parking but also provide an important role in terms of open, communal space within the development.

A high level of landscape amenity should be provided for residents, ensuring garage dominance is avoided.

Lighting should be provided along lanes with public street lighting aligned wherever possible to the entrance of laneways.

Physical speed restrictions such as speed tables, chicanes or carriageway narrowing are encouraged.

All laneways should provide or link to a continuous pedestrian connection through the block.

Gateways to properties should be provided within the rear fence to facilitate easy pedestrian access and movement of items such as wheelie bins where required.

Laneway designs should include consolidated blocks of mass planting for maximum growth potential, visual effect and amenity.

Designs should include a variety of surface finishes and materials along with a clear threshold between laneway and adjoining street.

Shared surfaces are encouraged in order to indicate equal status to pedestrians and vehicles so that separate footpaths may not be required.

Both edges of the lane should include building line variation to offer visual interest and provide space for layering of soft landscaping.

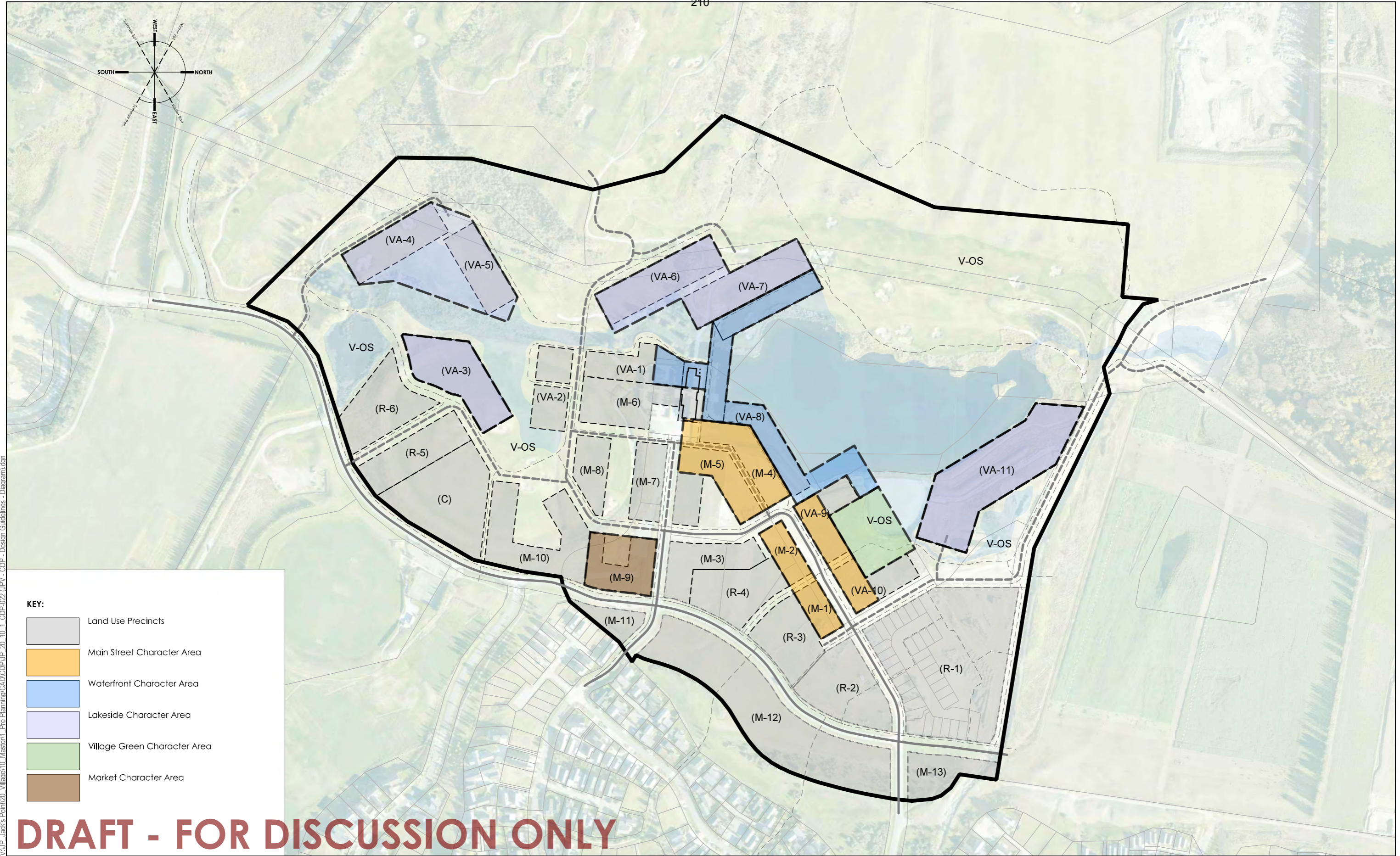
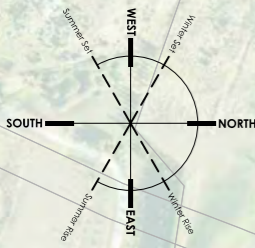
Gateway buildings with height expressed at the entrance point overlooking the laneway are encouraged.

A mix of garages and carports (solid and void) should be explored, with double garages utilising split doors to provide a finer grain or scale to the laneway.

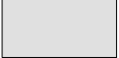




Lofts or living spaces over garages with balconies (in addition to gateway buildings) are encouraged to increase surveillance over the laneway.

Laneway designs should consider the potential for alternative uses encouraging residents to socialise, such as block parties, children’s bike riding etc.

Appendix (i)




KEY:

-  Land Use Precincts
-  Main Street Character Area
-  Waterfront Character Area
-  Lakeside Character Area
-  Village Green Character Area
-  Market Character Area

DRAFT - FOR DISCUSSION ONLY

VAJP - Jack's Point 20 - Village 10 - Master 1 - Pre Planning CAD/CDP/UP - 20_10_1_CDP-022 (UPV - CDP - Design Guidelines - Diagram).dgn


DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 9348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz

SCALE: 1:2000 (A1); 1:4000 (A3)


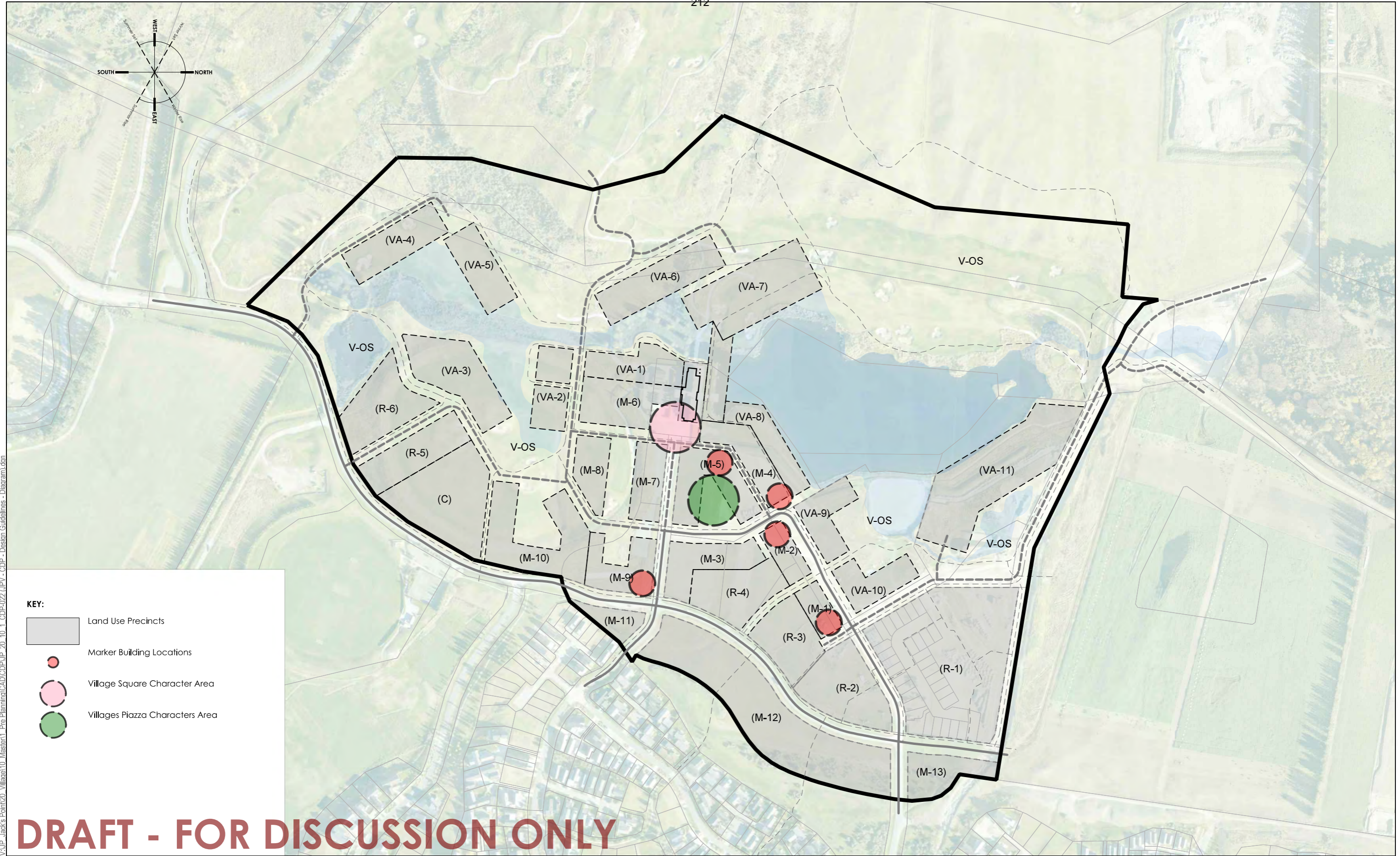
NOTE:
 All boundaries and areas are subject to survey

REVISION:	DATE	DRAWN	REVIEWED	APPROVED
NO. DESCRIPTION - For Information Only	16.03.21	JG	-	-





JACKS POINT VILLAGE DESIGN GUIDELINES KEY CHARACTER AREAS - 01

PLAN STATUS:	JOB CODE:	DRAWING NO:	REV:
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Appendix (ii)

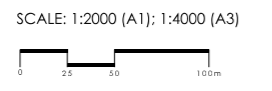


KEY:

-  Land Use Precincts
-  Marker Building Locations
-  Village Square Character Area
-  Villages Piazza Characters Area

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DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 9348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz



NOTE:
 All boundaries and areas are subject to survey

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JACKS POINT VILLAGE DESIGN GUIDELINES KEY CHARACTER AREAS - 02

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Appendix 3: CDP Vision Document



Jack's Point | VILLAGE

Comprehensive Development Plan

Vision Document March 2021

DRAFT



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Document Objective

The following document aims to explain the Vision for Jack's Point Village and provide further supporting information to the Comprehensive Development Plan (CDP) framework. From the raw physical attributes of the site to the detailed site planning and overall design philosophy and principles. It seeks to outline the clear underlying logic to the Comprehensive Development Plan, its land-use precincts, open space, and landscape, and how it will interact and provide for the community.







Section 1 / Introduction

Comprehensive Development Plan

1.1 / Introduction

The Village has been a key element to Jack's Point settlement plan since its conception and its adoption in 2002 as a special zone in the Queenstown Lakes District Plan.

The Village will form the vibrant heart of our growing community and provide a central hub for a range of activities catering to the everyday needs of locals and visitors alike. It will be a place to live, to work, to stay, to learn, to relax and connect.

The Village has been comprehensively planned to ensure activities and built form respect its special landscape setting by careful integration within a wider framework of connected green and blue open space and network of trails.

Key Qualities of a successful Village are an intimate, cohesive environment; with an integrated and inclusive mix of housing types, sizes, and households, enclosed pedestrian-scale streetscapes with active edges, a varied high-quality design which respects and enhances the materiality and landscape treatments found already within Jack's Point. The Village should provide a "rural-urban" lifestyle and level of convenience that retains strong connections to the natural, open environment that Jack's Point sits within.



1.2 / Context

Queenstown is New Zealand's fastest-growing region with approximately 5% annual growth. Its opportunity for future growth areas is challenged by lack of flat and easy contouring land and the dominance of Outstanding Natural Landscape Categorisations in the region, meaning well-resolved site analysis and planning is required to enable appropriate development to be approved.

The Jack's Point Area, which encompasses approximately 1200 ha (3000 acres) and sits at the foot of the Remarkables, was identified back in 1992 as a future potential settlement area to accommodate the region's growth.

Jack's Point has become the centre of a rapidly growing community (approximately 6000 dwellings are planned for the immediate contextual area outside of Jack's Point).

Jack's Point is situated in the Wakatipu Basin, approximately 14kms east of Queenstown, New Zealand's major destination resort town. The land area is defined by the Remarkables Mountain Range to the east, Lake Wakatipu to the west and farmland to the north and south.

Jack's Point is conveniently located less than 9kms from Queenstown International Airport, only 2kms from the Remarkables Ski Area turnoff and 30kms from Coronet Peak Ski Area.



1.3 / History

High Country Farming

Towards the end of January 1860, a party set out from Dunedin to penetrate the relatively unexplored central region of Otago in search of suitable pastoral lands. They made their way inland via the Waitaki River and the Lindis Pass. After making an extremely hazardous and costly crossing of the Clutha River and many disappointments in their search, only two of the party decided to continue – W G Rees and N P B von Tunzelman.

By 1862 Rees had acquired the 'Shotover', the 'Bucklerburn', the 'Staircase' and the 'Peninsula' Runs, a huge pastoral empire.

In 1862 gold was discovered in the Shotover and Arrow rivers. Rees moved his pastoral activities from the Shotover Run to his southern Runs. The Staircase and Shotover Runs were combined and named Kawarau Falls by Rees.

In 1865 Kawarau Falls Station was sold to Charles Crofton Boyes and Frank Campbell Boyes.

In the years that were to follow Kawarau Station, through boundary adjustments and sales, gradually became reduced in size to 46,600 acres and having passed through a succession of ownerships, was purchased on the 14th September 1922 by Dickson Jardine.

On the 19th September 1941 Dickson took his two sons, Grieve T and Dickson G, into partnership, with farm management being undertaken by Dickson G.

In 1947 Dickson subdivided the property between his sons, the necessary documents being signed at the Homestead 17th February 1948. In the subdivision, Grieve took over the freehold Homestead Block and name of Kawarau Falls and Dickson G the leasehold hill country and part freehold which he named.

Remarkables Station

In 1960 Grieve sold Kawarau Falls to Frank Mee and the Homestead block to the Methodist Church.

In 1966 Dickson G purchased the adjoining farm known as McAdam's. Another small adjoining Run known as Loch Linnhe came up for sale and was purchased by Dickson G for his older son Dickson S. The Land Board approved the sale subject to a substantial portion of the Station leasehold being amalgamated with the smaller property. The decision was taken in 1974 to dispose of the Loch Linnhe property and further develop the remaining land.

In 1973 Dickson G took his two sons Dickson S and Andrew G into partnership in Remarkables Station and eventually the property was subdivided between them, Dickson S taking the leasehold hill country and part of the freehold, including

McAdam's Farm and Remarkables Homestead, and retaining the name Remarkables Station. Andrew G took the balance of the Freehold, which included the original Remarkables Homestead and, named his property Henley Downs.

In 1999 Dickson S Jardine sold 420 hectares (1000 acres) to Jack's Point Limited as a future new settlement.

Jack Tewa

Jack's Point is thought to have been named in memory of a 19th Century Maori local named Jack Tewa, who saved the life of a visiting Englishman when the boat they were in capsized during a squall. The Englishman, unable to swim, clung to the upturned keel but in the freezing cold of Lake

Wakatipu lost his hold and drifted away. Jack swam after him, repeatedly dived beneath the waves to, cut away the halyards, righted the boat, put the Englishman in it and brought the craft, still half-submerged to the shore. There he carried the near-frozen man to higher ground. Fearing that the cold would take them both, Jack set off in the dark for help.

Help was more than 30 miles away and all feared the Englishman would be dead. Yet they found him alive; lying upon him was a large collie dog whose warmth throughout the night had kept him alive. The dog which had disappeared as a puppy had appeared from the brush and covered his shivering body.

When the rescuers arrived, it leapt up and vanished as mysteriously as it had come. Maori Jack Tewa was awarded the Royal Humane Society medal in 1863 for his act of heroism.

By then he had also discovered one of the world's richest gold strikes, nearby on the Arrow River. The point directly opposite where Maori Jack and the collie saved the Englishman became known as Jack's Point. Over the years map-makers dropped the apostrophe. We have added the apostrophe back in! Jack's Point. It remains and will remain as it was, in perpetuity.



1.4 / Climate, Landform, View Analysis

Climate

Very high sunshine totals are recorded during summer, with an average of over 220 hours per month from November to February, equating to 75% of the maximum possible. The area is one of the sunniest in the South Island over summer.

Winds from the west and south move down the arms of Lake Wakatipu and then pass over the basin. The existing trees and natural landform provide a high degree of shelter from these winds.

This data has been obtained from the nearest climatological station to Jack's Point, located some 9kms to the south-west at Queenstown Airport. The mean annual rainfall for the site between 1871 and 2003 was 834.9mm. There is a tendency for monthly totals of rainfall to be greater in Autumn (March to May) and Spring (September and October) but this is highly variable from year to year.

The Wakatipu Basin experiences warm summer and cold winters. During the height, Summer temperatures can rise to high 20's and in winter fall below -5c.

Landform

The site, due to its significant size, has a complex and varied geology and topography. Repeated glacial erosion has shaped the valley into the landforms we see today. This has left us with the rolling terrain comprised of glacial gravels to the east and the schist ridge to the west, where the majority of the golf course has been located.

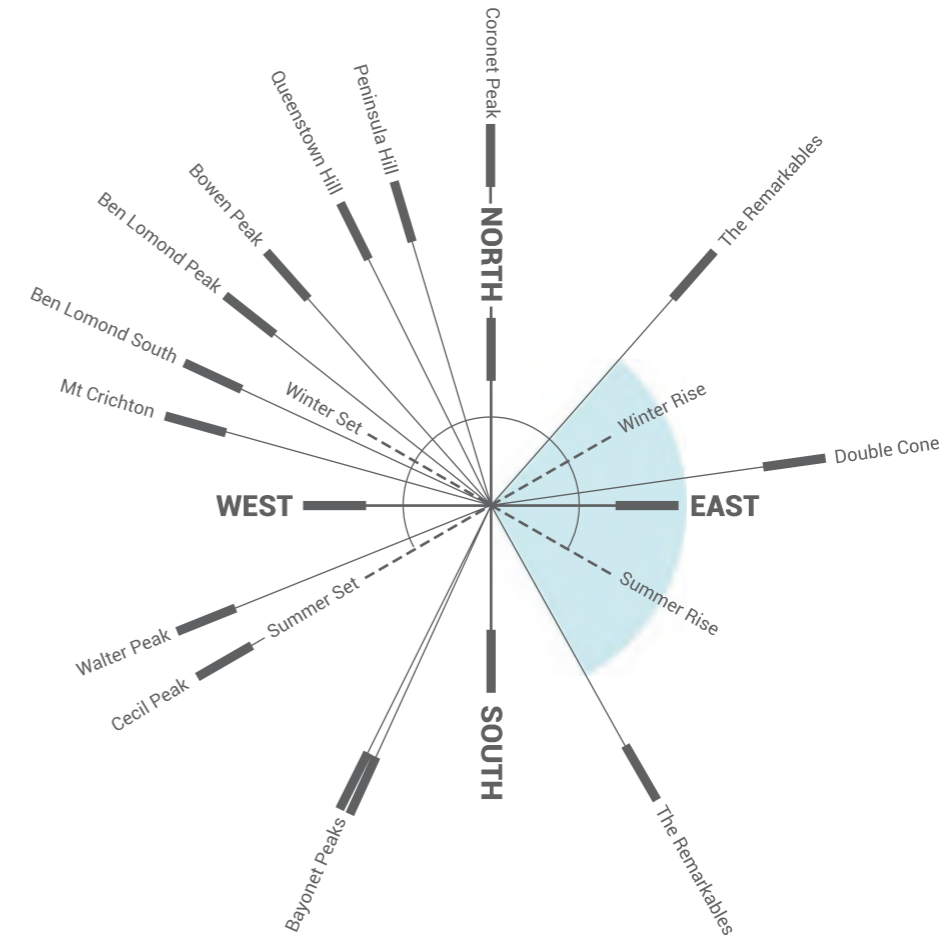
The village site is located in the central valley, with a flat subtle topography which slopes toward the west to Lake Tewa, a man-made lake at the centre of Jack's Point. It is comprised primarily of old beach deposits and glacial gravels and is ideal for settlement or development.

View Analysis

Jack's Point is blessed with a panorama of views in all directions. It was determined early on in the planning that these would be extremely important in the site planning of the village. The view rose (attached) shows the variety of views available within the site.

The key axis for the site planning was Cecil Peak. The village entry road aligns on this axis, etching into the guest's memory, on arrival or departure, the grandeur of their surroundings.

The Remarkables is such an important and recognizable mountain-scape in Queenstown to both local and visitor alike. It has an omnipresent quality, a quality that changes depending on season and time of day.





Section 2 / Summary

Comprehensive Development Plan

**THE PLAN CALLS FOR THE CREATION OF
SIGNIFICANT AREAS OF OPEN SPACE WITHIN
AND AROUND VILLAGE PRECINCTS.**

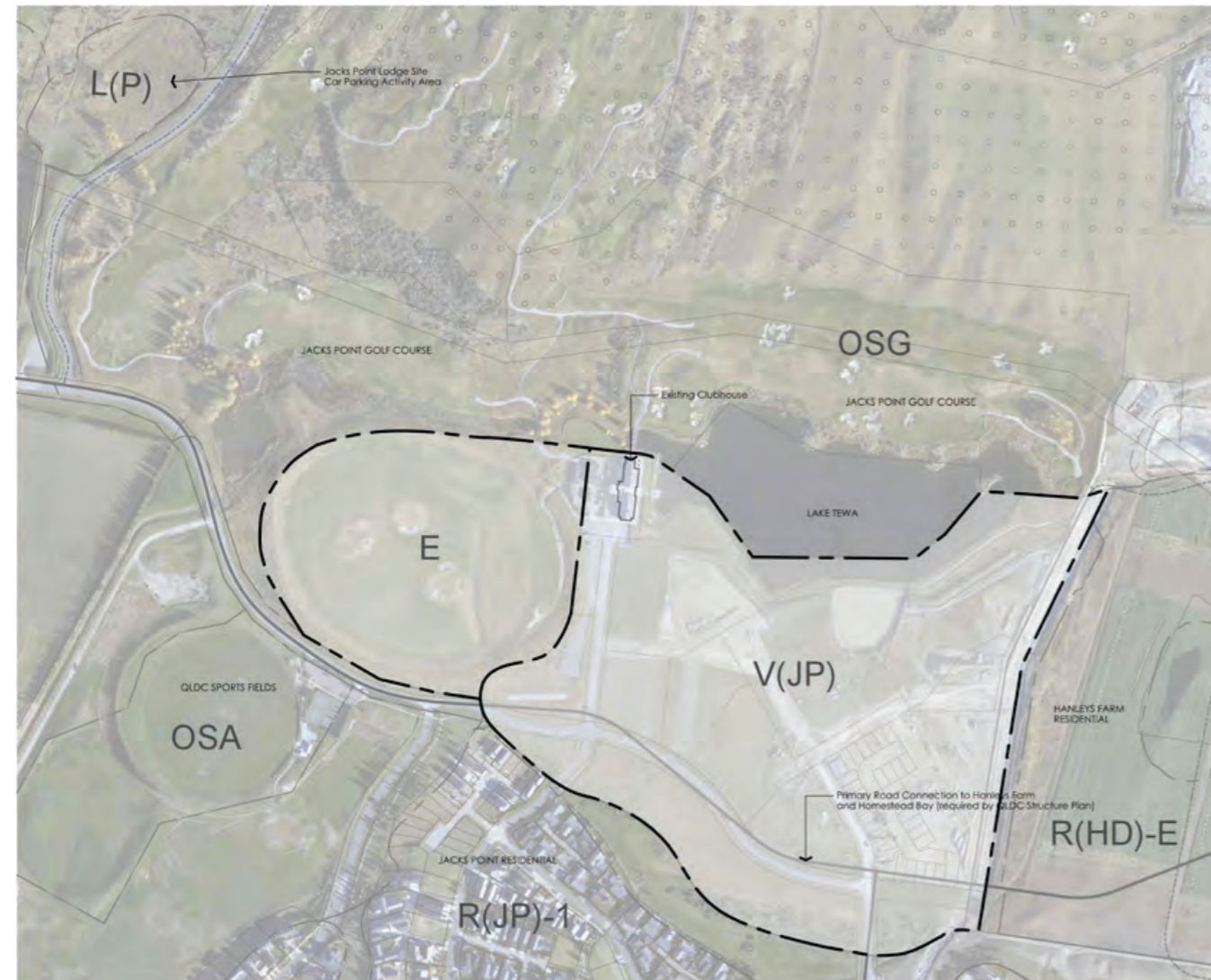


2.1 / Planning History

The Village has been a key element to Jack's Point settlement plan since its conception, its approval dates back to 2002 when the initial zoning of Jack's Point as a special zone in the Queenstown Lakes District Plan.

This provided for a total of 28.95ha of Village Activity Area, allowing for a range of activities from Visitor Accommodation, Residential, and Retail / Hospitality within a total site coverage of 17.37ha. The neighbouring property Henley Farm, under separate ownership to Jack's Point, was also included in the Jack's Point Zone, such that (13.88ha) of the Village Activity Area was located on their immediately adjoining land, with the balance (15.07ha) remaining on Jack's Point land – where the Village is located today.

Development of both Villages were planned to occur in an integrated manner, as the residential settlement grew.



Then, under new ownership, Henley Downs sought to establish a separate zone that provided for significant increase in residential capacity and reduction of protected open space areas and design controls. This rezoning process and the subsequent District Plan Review saw the Village Activity Area on Henley Farm being changed to residential, and 7.00ha of the Driving Range within Jack's Point being incorporated into the Structure Plan as an Education Activity Area, to accommodate the requirement for a proposed new school, among other village related activities.

The Ministry of Education did not proceed with a school within the education area, instead acquiring 3.00ha of residential land within Hanley's Farm at a considerably greater cost.

This therefore left the Jack's Point Zone with an 18.70ha Village Zone, and a 7.00ha Education zone approved in the District Plan, able to be developed today.

Existing Village and Education Area Summary

- Existing Title Boundaries
- QLDC – Decisions Version Structure Plan Activity Areas (areas within which development can occur)

Village Activity Area V(JP) = 18.70ha

Education Activity Area (E) = 7.00ha

TOTAL = 25.70ha

V(JP) Site Coverage: (60%) = 11.22ha

Within the Jacks Point Village JP(V) and the Homestead Bay V(HB) Activity Areas maximum building coverage, calculated across the total activity area, shall not exceed 60%

(E) Site Coverage: (45% net) = 3.15ha theoretical

On any site within the (E) Activity Area, buildings shall not exceed a maximum site coverage of 45%

Total Approved Site Coverage = 14.35ha

There are no further restrictions on the area/scale of landuses that can occur within the Village, and no provision of dedicated community open space.

2.2 / District Plan Review Process

The District Plan Review process provided the opportunity to finally achieve one well planned and integrated Village, based on one overall Comprehensive Development Plan.

Jack's Point has been actively involved in this District Plan Review (DPR) that commenced in 2015. This process has proceeded through formal submissions, hearings, and release of the Commissioner's decision.

That decision among other matters, required the Village be developed in accordance with a Comprehensive Development Plan (CDP) to be prepared for the Village and incorporated into the Jacks Point Zone within the Queenstown Lakes District Plan. While Jacks Point supports the idea of a Comprehensive Development Plan, it strongly believes it should truly be comprehensive and extend over all Village development activity areas set within a strong framework of protected green and blue open space and trail networks – aligning the Village with the rest of Jack's Point. The existing Village and Education Zone does not allow for a comprehensive planning approach.

Furthermore, the Commissioner's decision that a Comprehensive Development Plan be included in the District Plan but be introduced at some later date by a new Plan Change was of concern as this would create a further delay of several years while development of the Village continues, but on a piecemeal as opposed comprehensive basis.

Accordingly, Jacks Point lodged an appeal to the Environment Court to resolve these matters.

During the Environment Court Hearing held in September 2020, Jacks Point submitted a draft Comprehensive Development plan that sought to address and solve our matters of concern with the Commissioners decision. In order to more fully consider the draft CDP and its incorporation into the District plan sooner than later, the Environment Court directed Jacks Point to undertake the first step of that process by consulting with the Jacks Point community and other interested parties.



2.3 / Proposed Comprehensive Development Plan

The Jack's Point Village Comprehensive Development plan aims to create a vibrant, cohesive environment; with an integrated and inclusive mix of housing types, sizes and households, enclosed pedestrian scale streetscapes with active edges, a varied high-quality design which respects and enhances the materiality and landscape treatments found already within Jack's Point.

The Village should provide for an urban living set within nature and a level of convenience that retains strong connections to the natural, open environment that Jack's Point sits within.

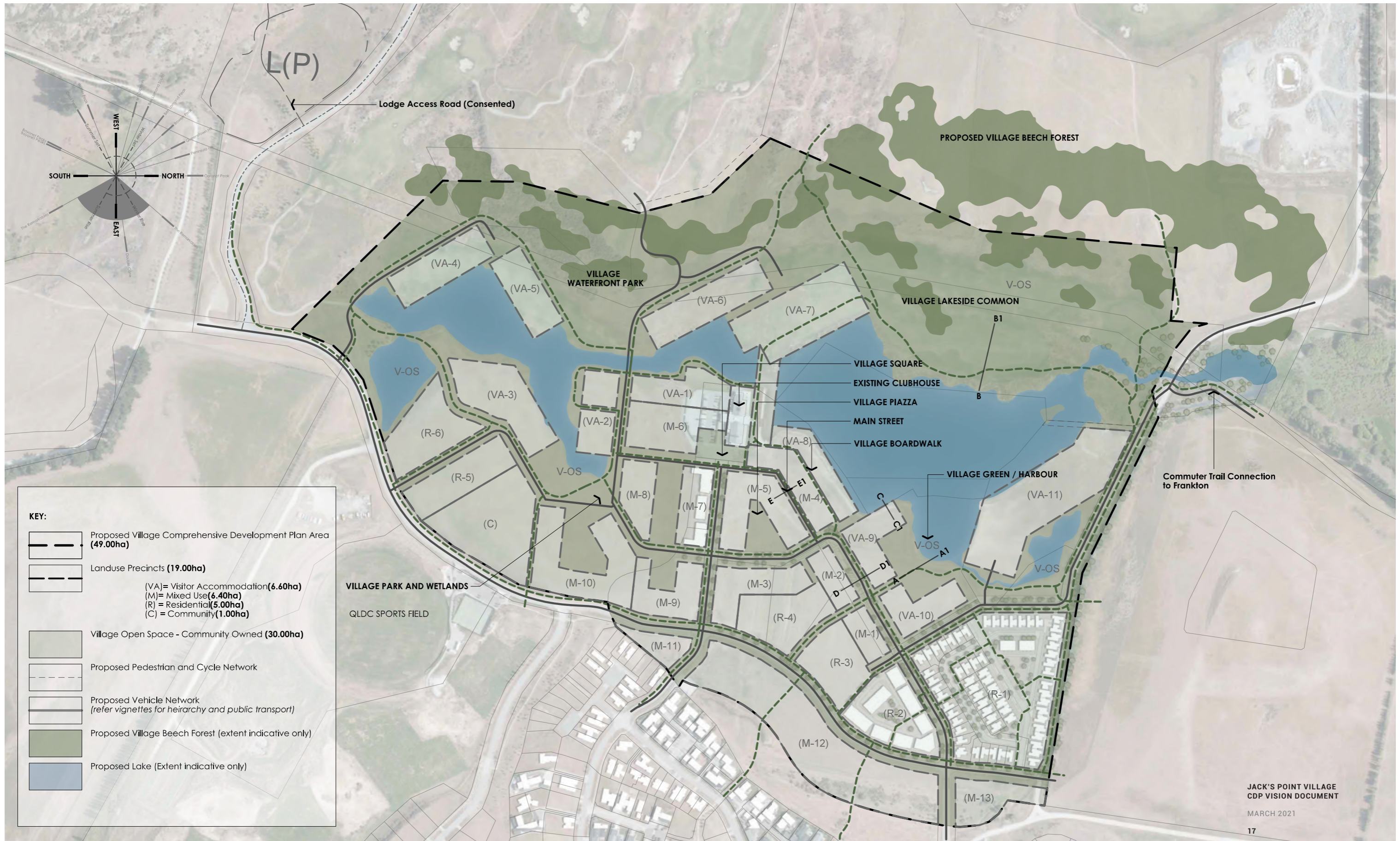
The purpose of the Comprehensive Development Plan is to:

- Provide a clear vision for the future of Jack's Point Village.
- Provide the mechanism to encourage high-quality urban design outcomes throughout the Jacks Point Village
- Establish an integrated and coordinated framework of connected green and blue open space.
- Locate land use precincts in areas that best allow for the successful integration of the resulting built forms with the valued natural character of the 'Village's setting.
- Set clear urban design principles and a framework to establish design controls against which development proposals requiring resource consent will be assessed.

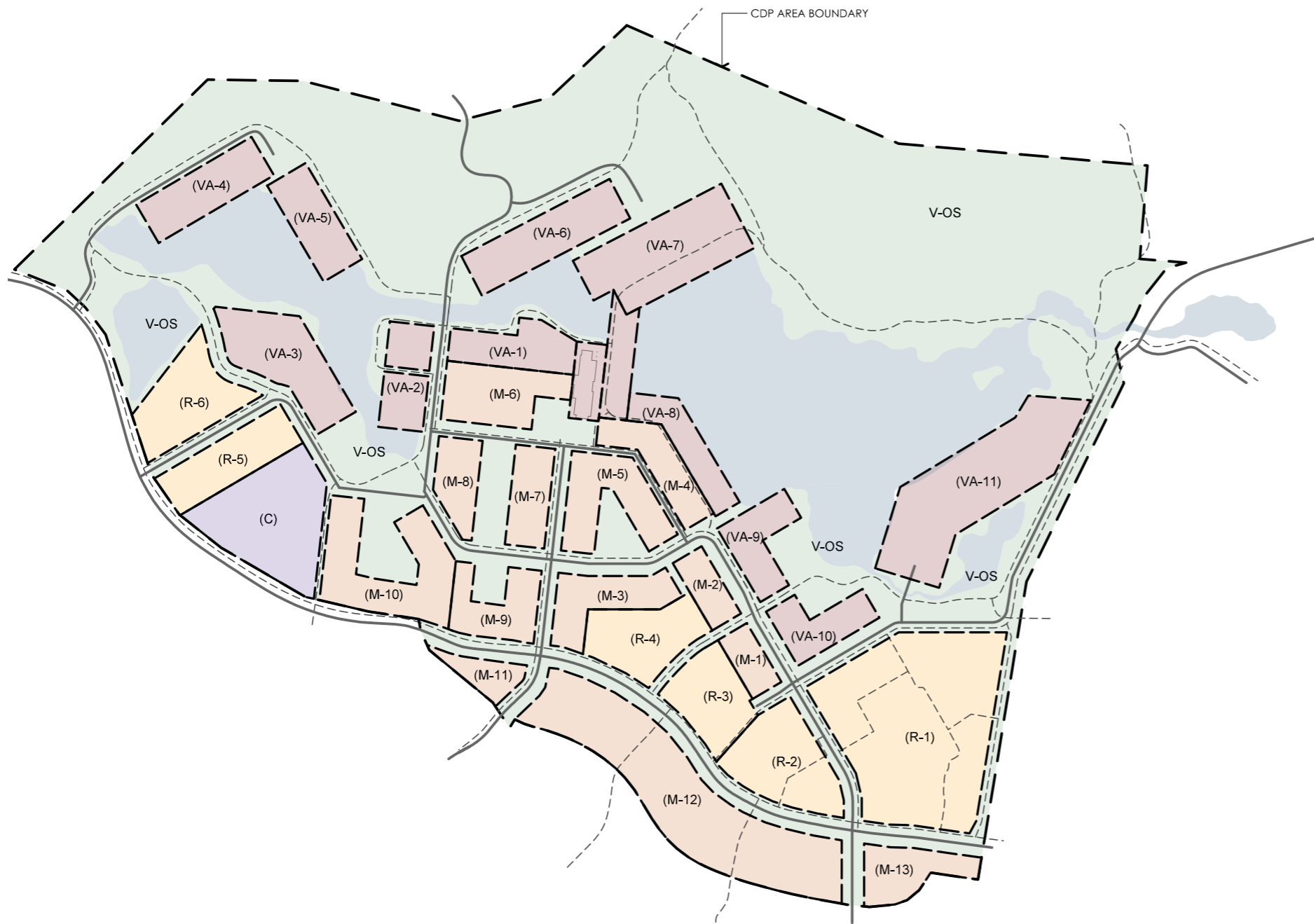
Key benefits of the CDP are:

- Provision of approximately 10.00ha of new dedicated community open space on the western edge of Lake Tewa, providing direct community access to the lake which would not exist under the currently approved village plans.
- Provision of a connected network of further Village open spaces (village green, plaza, parks).
- Provision of a further 5km (approx.) of pedestrian and cycle links, providing access to and through the Village connecting to the wider trails network. This includes access to a commuter trail network being explored to connect to Frankton.
- Creation of a Village Beech Forest for amenity and further enhancing the existing vegetation framework of Jack's Point.
- Creation of additional lake space, increasing amenity and opportunities for water-based recreation.
- Creation of spaces dedicated to community facilities.
- Designation of land-use precincts, key pedestrian, and cycle links, providing surety around the location and scale of built form, access (pedestrian, cycle and vehicular) and open spaces. Forever enshrining the benefits listed above for future generations.
- Creation of inclusive, varied in scale and typology, residential environments within the Village creating opportunities for live, work, play.
- Provision of commercial and retail activities to the Jack's Point Community, providing a level of convenience not currently available in the area.
- Continuation of the vision and environment (both built and landscape) that has been created at Jack's Point – through the conception and implementation of the Jack's Point Village Design Guidelines.

2.4 / Land Use Precinct – Masterplan



2.5 / Proposed Comprehensive Development Plan Area Summary



The proposed Village Comprehensive Development Plan area is a total of 49.00ha, and can be further described as:

PROPOSED CDP	AREA
CDP – LANDUSE PRECINCTS	19.00 HA
CDP – OPEN SPACE (INCLUDING STREETSCAPES ETC)	30.00 HA
TOTAL	49.00 HA

Land uses within the CDP Area are designated by precincts ensuring that uses are in locations that are complimentary to one another, providing for:

CDP PRECINCTS	AREA
MIXED USE	6.40 HA
RESIDENTIAL	5.00 HA
VISITOR ACCOMMODATION	6.60 HA
COMMUNITY ACTIVITIES	1.00 HA
VILLAGE OPEN SPACE	30.00 HA
TOTAL	49.00 HA

The CDP allows for a total site coverage of 12.00ha.

2.6 / Summary of Activities allowed in the Village

Activities that are anticipated to be allowed for within each landuse precinct are listed below:

Mixed Use Precinct

The Mixed-use Precinct provides for the following activities:

- Visitor Accommodation
- Residential Visitor Accommodation
- Homestays
- Retirement Villages
- Retail Activities located at ground floor level within the areas illustrated as Ground Floor Retail Frontage on the Ground Floor Retail Frontage Plan.
- Within Mixed Use Area M-9 Commercial activity is restricted to retailing with no limitation on the maximum net floor area to allow for a supermarket.
- Community Activities
- Commercial Activities
- Technology and Innovation based businesses.

Visitor Accommodation Precinct

The Visitor Accommodation precinct provides for the following activities:

- Visitor Accommodation
- Residential Visitor Accommodation
- Homestays
- Retirement Villages
- Premises for the sale and consumption of food and beverages provided they do not exceed 400m² of Public Area

Residential Precinct

The Residential precinct provides for the following activities:

- Residential Activity

Community Facilities Precinct

The Community precinct provides for the following activities:

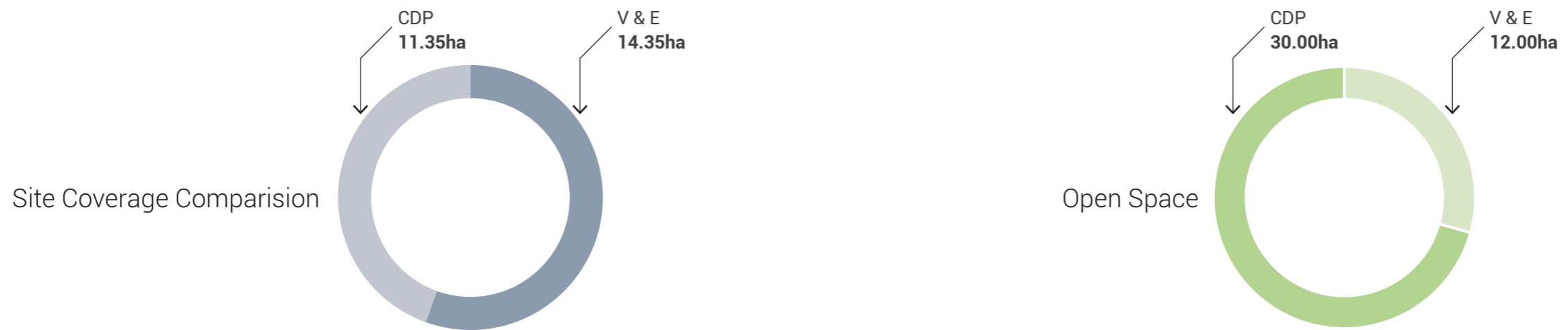
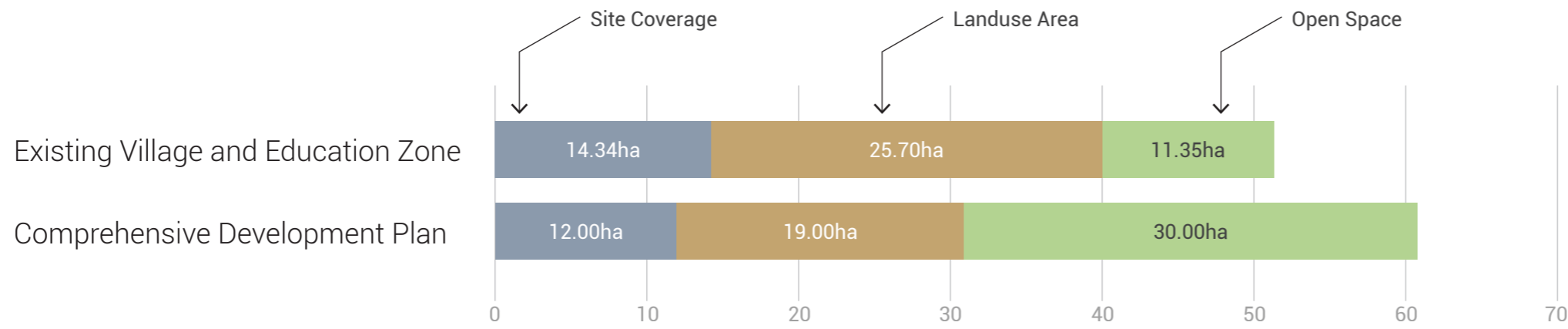
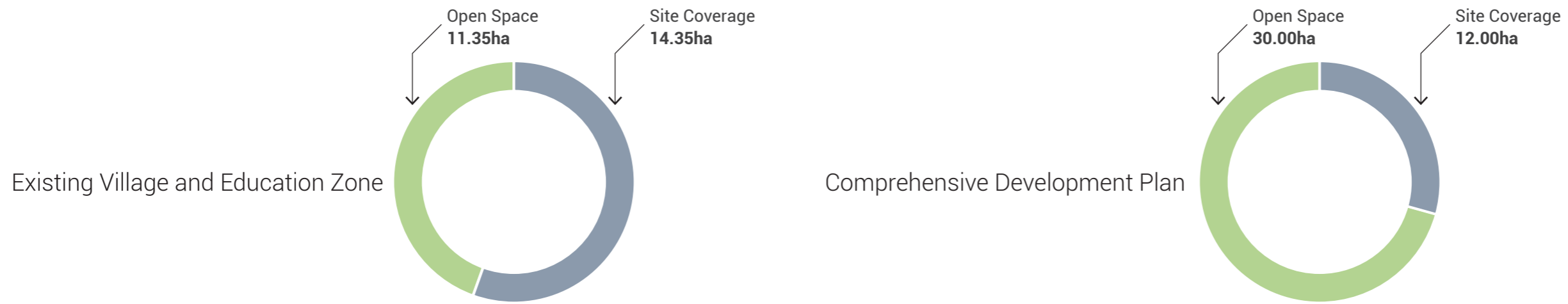
- Health
- Welfare
- Safety
- Education
- Cultural and Spiritual Wellbeing
- Day Care Facilities
- Hospitals
- Doctors Surgeries and other Health Professionals
- Halls
- Libraries
- Community Centres
- Police Purposes
- Fire Stations

Open Space Precinct

The Open Space precinct provides for the following activities:

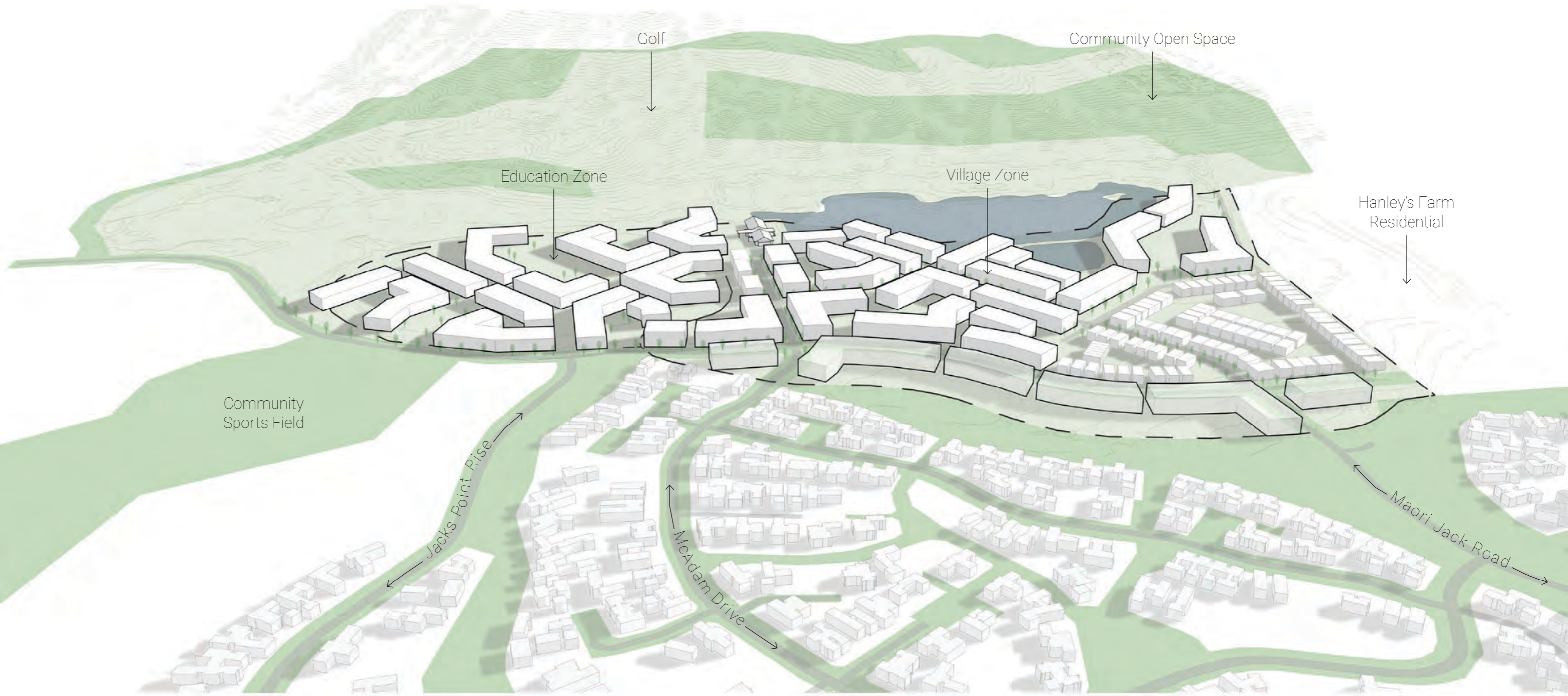
- Recreation Amenities
- Playgrounds
- Landscaping
- Roads, Vehicle Access, and Parking
- Street Furniture
- EV Charging Stations
- Facilities in support of Pedestrian, Cycle Trails, and Laneways
- Lighting
- Stormwater Retention
- Underground Services

2.7 / Comparision of Existing Village vs Proposed CDP



2.8 / Existing Village and Education Zone

Indicative Site Coverage Illustration



2.9 / Proposed Comprehensive Development Plan

Indicative Site Coverage Illustration



Section 3 / The Vision

Comprehensive Development Plan



RE-INTRODUCTION OF NATIVE BEECH FOREST, TO PROVIDE A STRONG NATURAL FRAMEWORK FOR THE INTEGRATION OF BUILDINGS INTO THE NATURAL LANDSCAPE SETTING OF THE VILLAGE.

3.1 / Vision Principles and Objectives

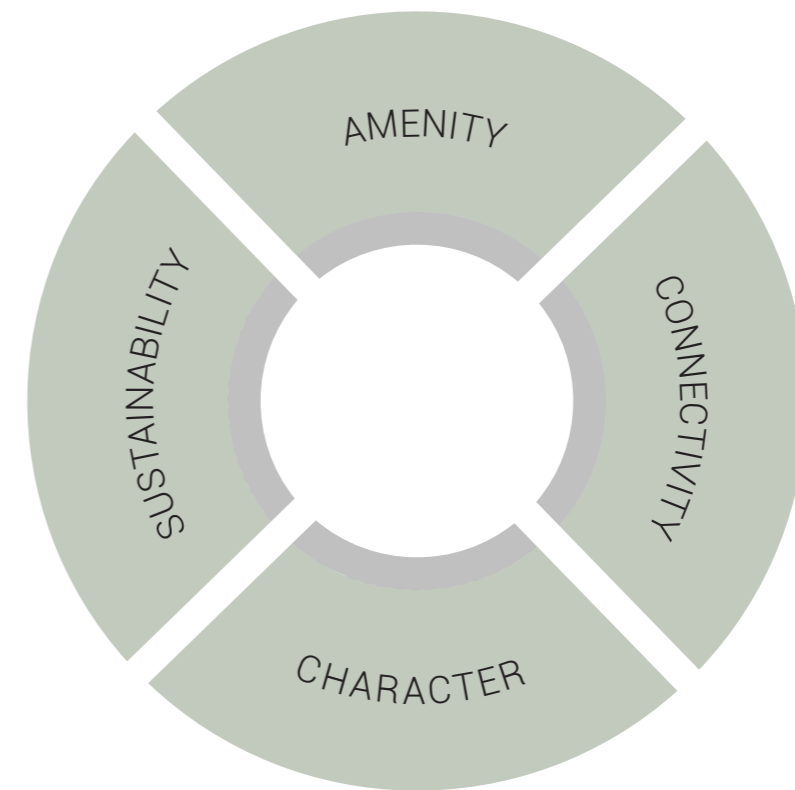
The Village will form the vibrant heart of our growing community and provide a central hub for a range of activities catering to the everyday needs of locals and visitors alike. It will be a place to live, to work, to stay, to learn, to relax and connect.

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The Village should provide for urban style living set within nature and a level of convenience that retains strong connections to the natural, open environment that Jack's Point sits within.

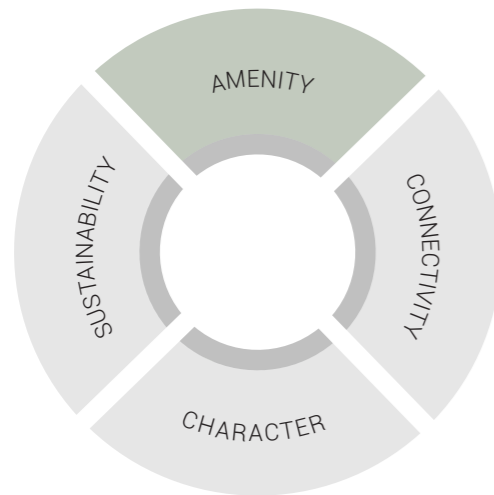
The Village has been comprehensively planned to ensure activities and built form respect its special landscape setting by careful integration within a wider framework of connected green and blue open space and network of trails.

FOUR KEY PRINCIPLES HAVE GUIDED THE SPATIAL AND WRITTEN FRAMEWORK OF JACK'S POINT VILLAGE.



3.1 / Vision Principles and Objectives

The Village is supported and enforced by the following Principles and Objectives.

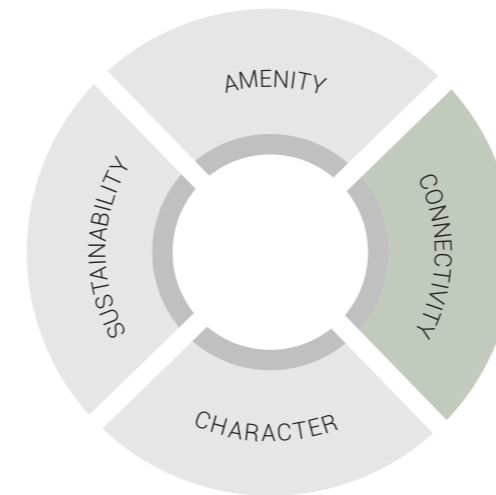


Amenity

To ensure the existing valued natural character of the village setting is protected or enhanced by appropriate design solutions.

Objectives

- Provide a strong framework of blue and green spaces within which built form can be appropriately located.
- Create attractive, connected nodes of blue and green space to encourage a range of different activities and uses.
- Create sheltered and sunny public spaces through the appropriate location and articulation of built forms.
- Protect or enhance key view shafts to the wider landscape through the appropriate alignment of roads, siting of public spaces and suitable building design.



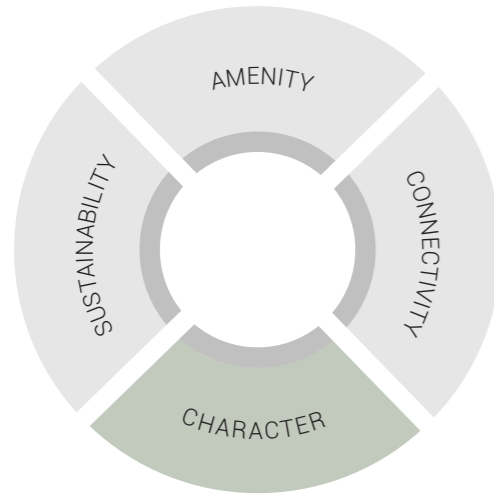
Connectivity

To create pedestrian-focused, safe, efficient, and well-connected village environment, the circulation network should provide a wide range of transportation (outside of the motor-vehicle) options and experiences that provide linkages to the wider open space network.

Objectives

- Creation of new trail connections within the Village to provide connectivity with the adjacent 'Jack's Point Neighbourhoods, open spaces, and the wider Wakatipu Basin. Trail connections should provide for multiple means of non-vehicular related transport (bikes, pedestrian, electric carts, and boats etc).
- Create a pedestrian-focused environment with permeable development blocks that provide for connectivity and a sense of discovery throughout the Village.
- Enhance access and interaction on and around Lake Tewa and connected waterbodies.
- Provide an efficient Vehicle network through the Village without impacting the pedestrian environment.

3.1 / Vision Principles and Objectives

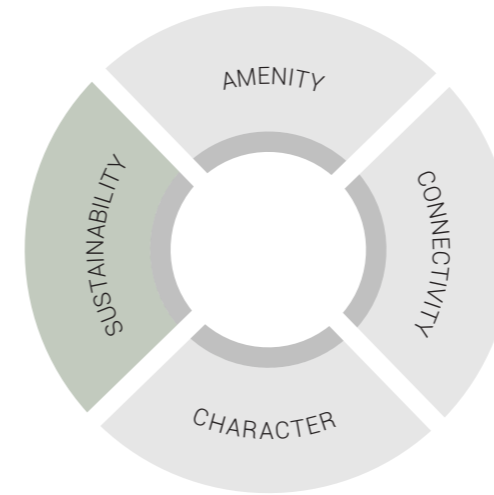


Character

Create a Village character that reflects its unique mountain setting and celebrates the history and architectural traditions of the site and wider district. The built form and landscape treatment of open spaces should reflect both the natural and cultural values of its wider setting. Evolve and maintain a common design language through the careful and considered use of raw, natural materials and unity of built forms, building on that which is already present within Jack's Point.

Objectives

- Create a unique pedestrian-friendly waterfront built environment, providing a diverse range of experiences and outdoor activities that encourage interaction with Lake Tewa.
- Outside of the waterfront-built environment, protect and enhance the natural character of the lake foreshore.
- Create a range of sheltered and sunny public spaces that cater for both the needs of residents and visitors alike.
- Provide for a higher degree of visual and physical permeability between buildings and open space built forms in and around key public open spaces by the careful siting and density of adjoining built forms.
- Provide for a diverse range of land use activities within the Village to offer a high level of convenience, lifestyle and employment options with a focus living, visiting and, learning, local employment, well-being and recreation.
- Provide for cohesive and concentrated retail area within the Mixed-Use precinct such as the "Village Main Street" that caters to both the existing and future requirements of the wider local community and visitors.
- Provide land dedicated to meeting community needs and supporting infrastructure.
- Medium to high-density residential accommodation.



Environment

To ensure that the natural and built environment is both protected and enhanced. Development should promote and encourage appropriate design solutions to ensure it is sympathetic to the surrounding environment.

Objectives

- Ensure that the water quality of Lake Tewa is protected. Protect the existing night-time ambience through the promotion of low-level light solutions.
- Promote the use of sustainable materials and green engineering systems throughout the built environment through the Design Guidelines.
- Outline a direction to ensure the minimisation of passenger vehicle movement within the Village, through appropriate, efficient roading networks, hierarchy, and design.
- The support of green building techniques within the Design Guidelines encouraging cleverly designed spaces to allow solar gain, maximise airtightness of the building envelope, natural ventilation and increased insulation contribute to energy conservation and a healthy and comfortable living environment.



**THE EXPANSION OF LAKE TEWA PROVIDING
ADDITIONAL AMENITY AND RECREATION
OPPORTUNITIES TO THE VILLAGE.**

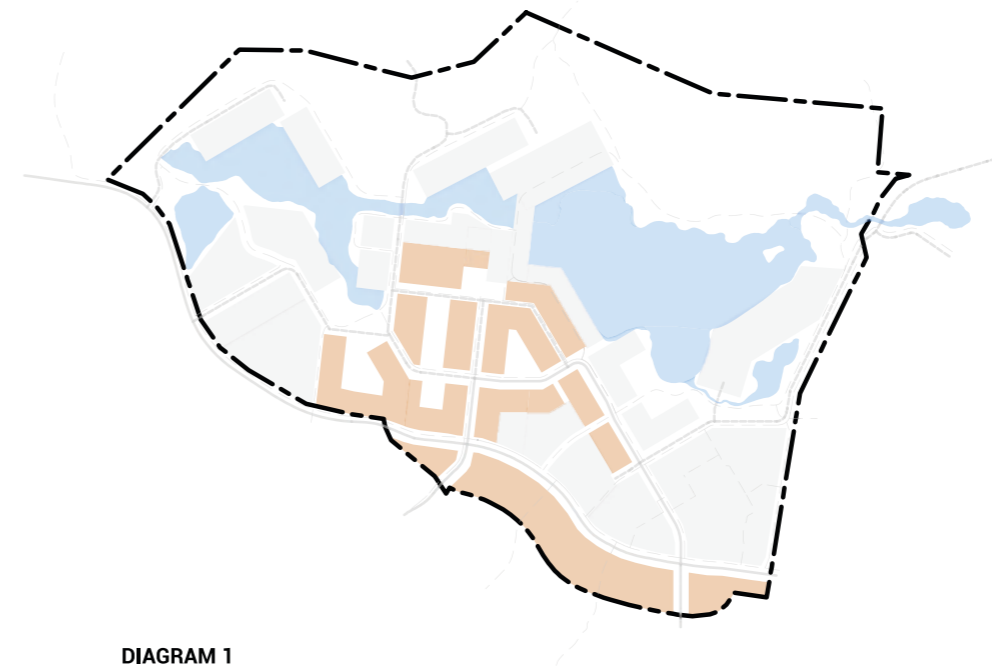
3.2.1 / Mixed Use Precinct

The Mixed-Use Precinct will create the vibrant heart of the Village focused around the main retail precinct at the centre of the Village, aiming to build on the already high quality of life at Jack's Point.

Through the use of varied architectural typologies (location, materiality, scale, and form), the Mixed-Use Precinct will read as a collection of buildings avoiding monotonous, large built form to emphasise a Village character. Laneways, green links, and connections will feed people between sheltered courtyards and community spaces.

The mixed-use precinct will also provide for a range of food and beverage offerings, located along laneways and plaza's, and the waterfront. Café's, Restaurants and Bars will be encouraged to be of a small scale and that reflect the character and requirements of the Jack's Point community.

A key aspect of the mixed-use precinct is live, work, play. Residential use is encouraged to be located above offices and businesses to further reduce the requirement for vehicular movements and provide a higher level of convenience. This also importantly applies to the people already living in Jack's Point.



**DIAGRAM 1
MIXED USE**
1:5000 at A3

— Mixed Use Area

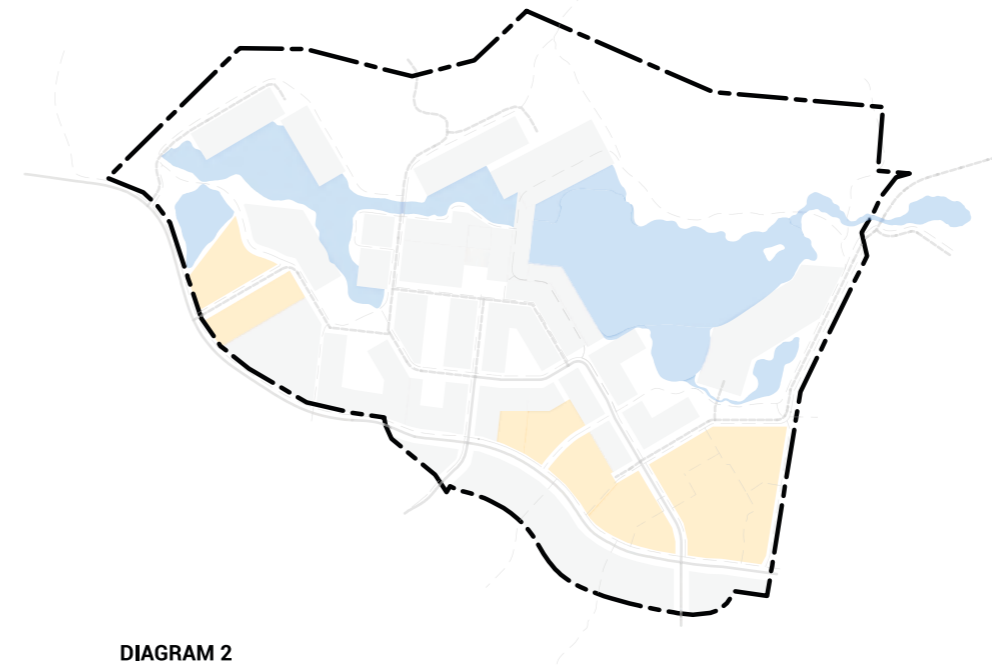
Servicing the growing community through a Village core of mixed-use development offering opportunities for live, work and play.

3.2.2 / Residential Precinct

The Residential precinct aims to create a permanent resident population within the Village.

Located on the periphery, the residential precincts are connected to the centre of the village through the provision of a series of interwoven trails and bicycle and pedestrian-friendly street networks. Providing a variety of scales and typologies that supports an inclusive living environment. From medium density housing located in nature, single-family plots, to social clusters of residences, through to higher density terraced / apartment living set within landscaped precincts.

Residential development will be focused around communal landscaped spaces with direct connections to trails and non-vehicular movement opportunities promoting a shift away from reliance on cars.



**DIAGRAM 2
RESIDENTIAL**
1:5000 at A3

Residential Area

Ensuring permanent activity within the Village, and providing for a range of living environments, ensuring inclusivity, rather than exclusivity.

3.2.3 / Visitor Accommodation Precinct

The Visitor Accommodation precinct aims to provide a diverse range of lodging types to reflect a rapidly changing and evolving marketplace.

By providing a broad mix of visitor accommodation opportunities, ensuring that it is an inclusive, rather than exclusive environment for visitors whilst also providing for opportunities for lodging within each season. From single hotel rooms within the dedicated hotel's to individual rooms within the mixed-use precinct to cabins, boatsheds and 'residences' integrated into nature and located sensitively along the edge of Lake Tewa.

- Higher density visitor accommodation is located centrally within the village, to the south of the clubhouse just off of the Village Square, to assist in the activation of the heart of the village, encouraging interaction of visitors and locals where a more urban 'village' experience is desired.
- Less dense areas of visitor accommodation are dispersed along the southwestern arm of the Village, integrated into nature. Located on the public trail network, this enables visitors to easily interact with the village and the rest of Jack's Point should they desire.
- Locating these areas away from the core local part of the village allows for privacy, seclusion, and a more nature-focused stay. Separating a large amount of servicing activities away from the village centre, minimising disturbance/impact on the more populated areas of the village.

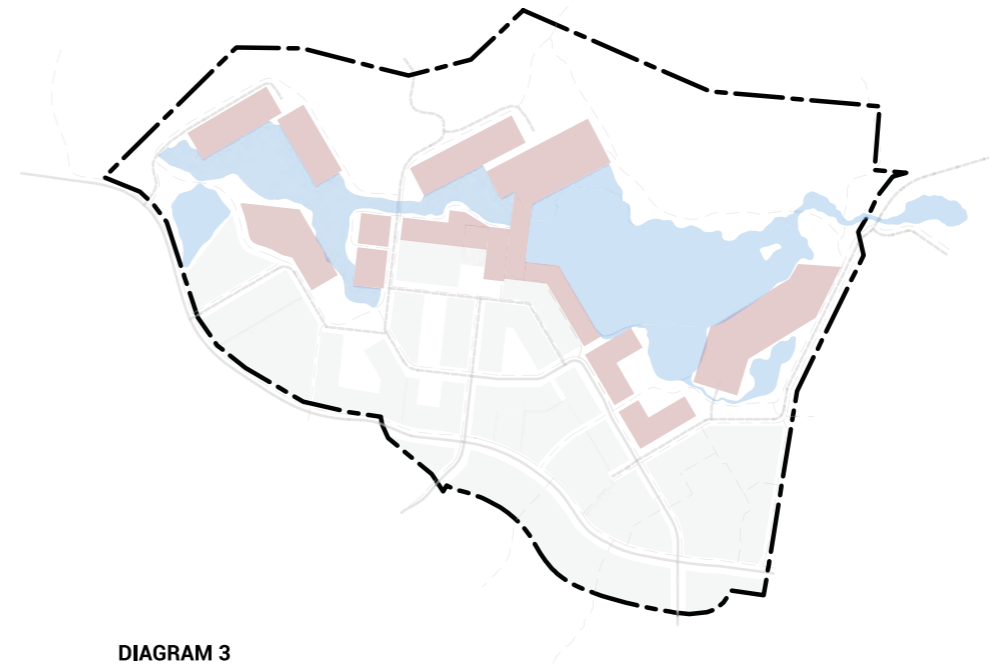


DIAGRAM 3
VISITOR ACCOMMODATION
1:5000 at A3

Visitor Accommodation Area

From single hotel rooms within the dedicated hotel's to individual rooms within the mixed-use precinct to cabins, boatsheds and 'residences' integrated into nature and located sensitively along the edge of Lake Tewa.

3.2.4 / Community Activities

The community precinct has been located on a primary road to ensure it has efficient access and is easily accessible to both the residential neighbourhoods and the Village. The community activities area will also provide for a logical location for a future transport hub within the Village in addition to the public transport network proposed.

In order to ensure that the community has provision for facilities such as:

- Emergency Services
- Community Buildings
- Education Facilities
- Health Facilities

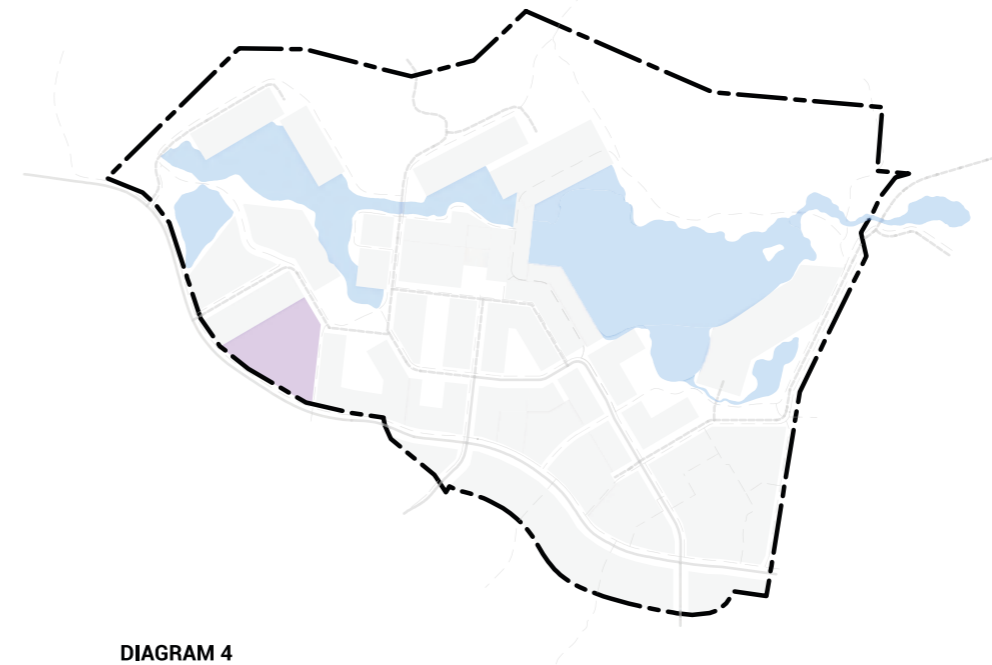


DIAGRAM 4
COMMUNITY ACTIVITIES
1:5000 at A3

Community Area

Providing for community needs, such as learning, health and community buildings.

3.2.5 / Existing Community Open Space Network

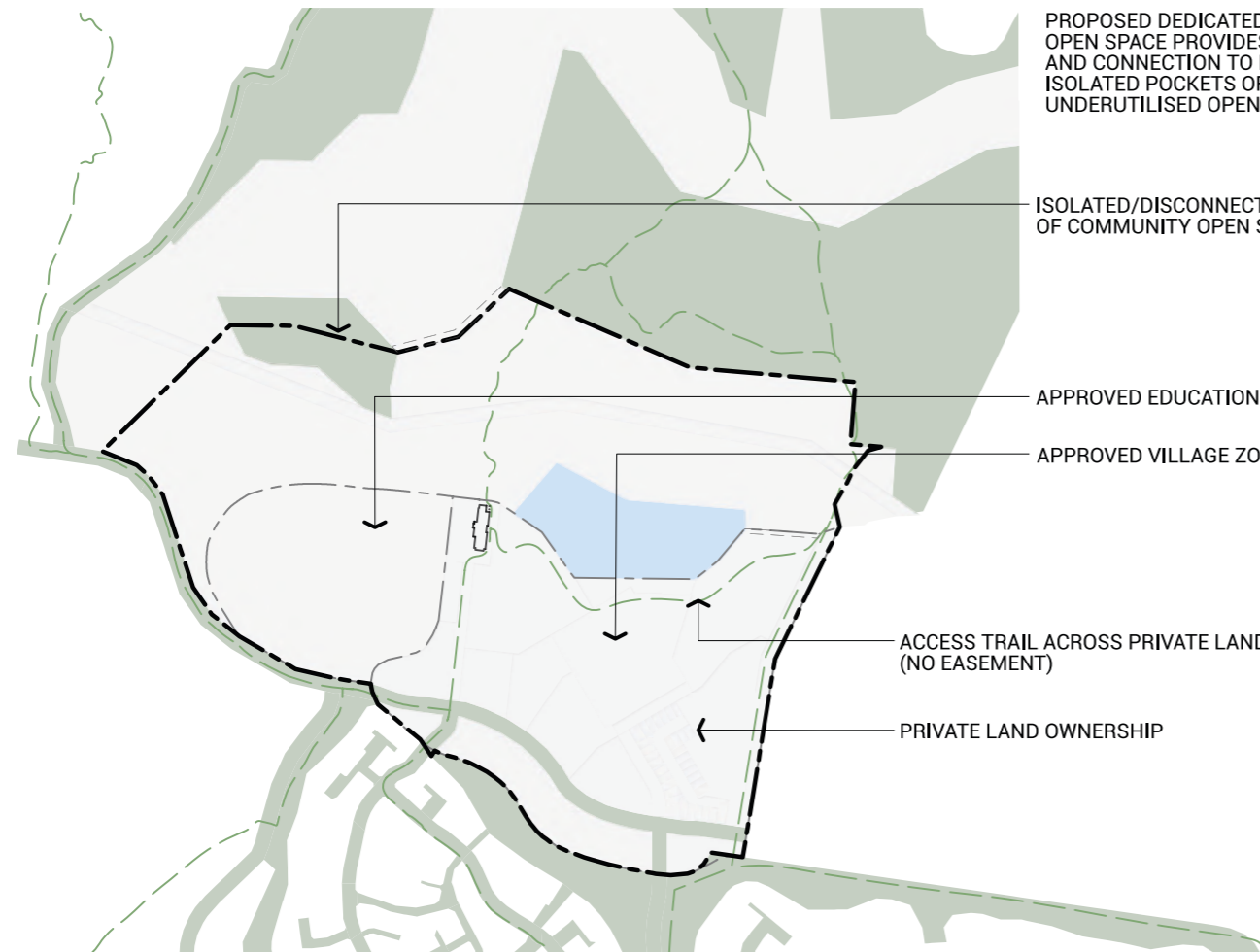


DIAGRAM 5
EXISTING COMMUNITY OPEN SPACE NETWORK
1:5000 at A3

- Community Open Space
- Community Blue Space
- Private Land Ownership
- Public Trails (over Private and Community Open Space)
- Approved Village and Educational Zones

Disconnected and fragmented areas of community open space disconnected from the Village and Residential Neighbourhoods.

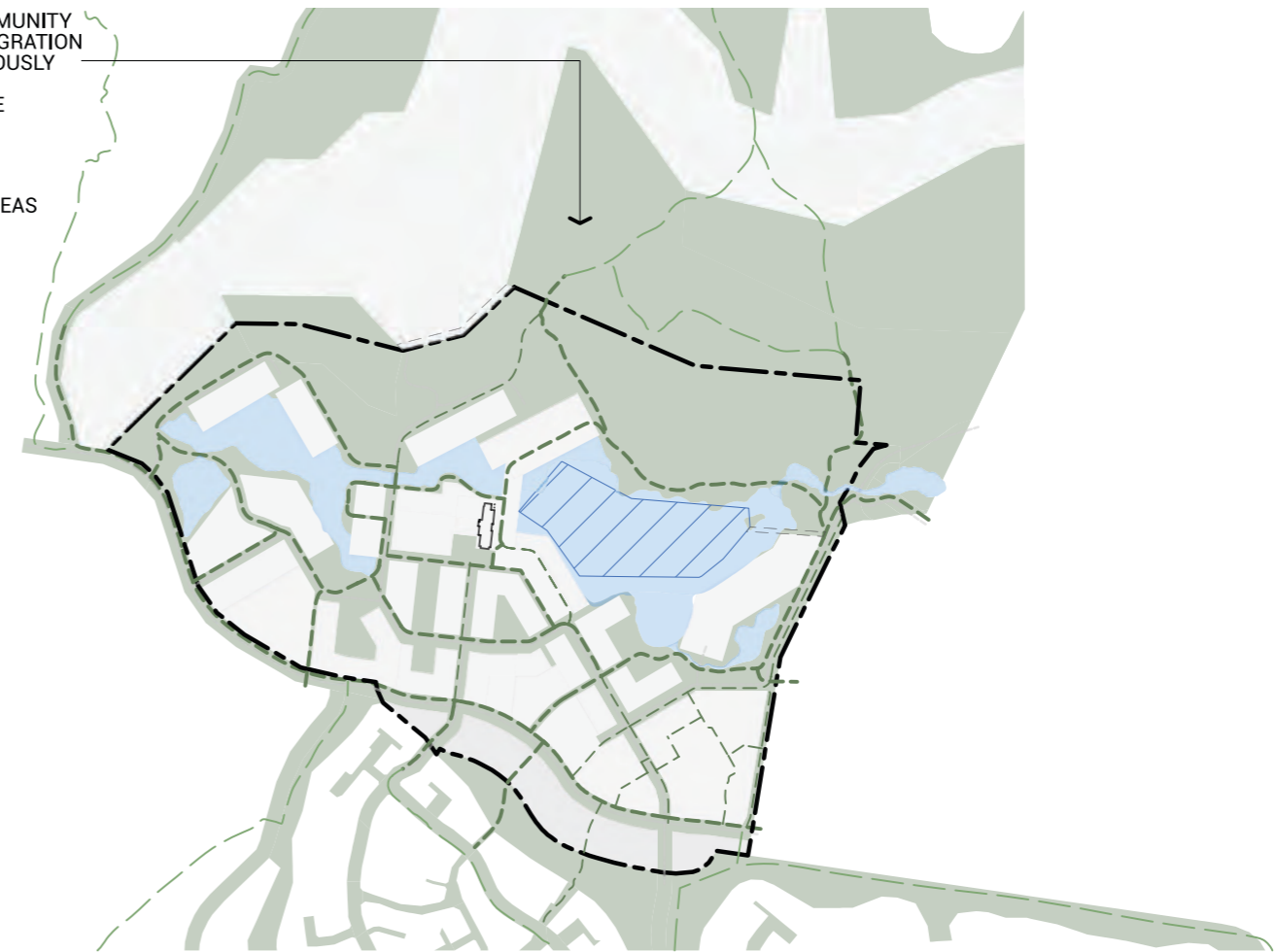
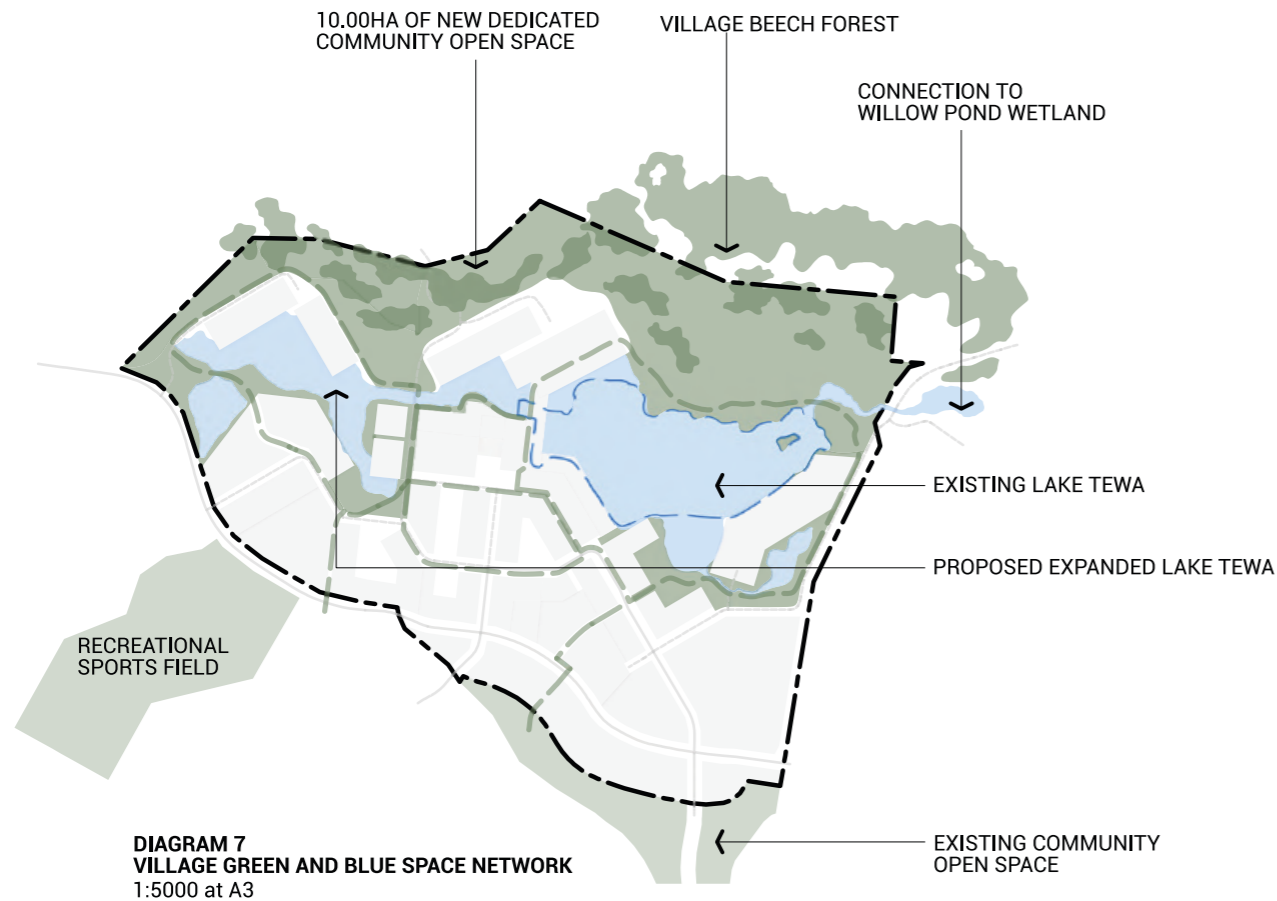


DIAGRAM 6
PROPOSED COMMUNITY OPEN SPACE NETWORK
1:5000 at A3

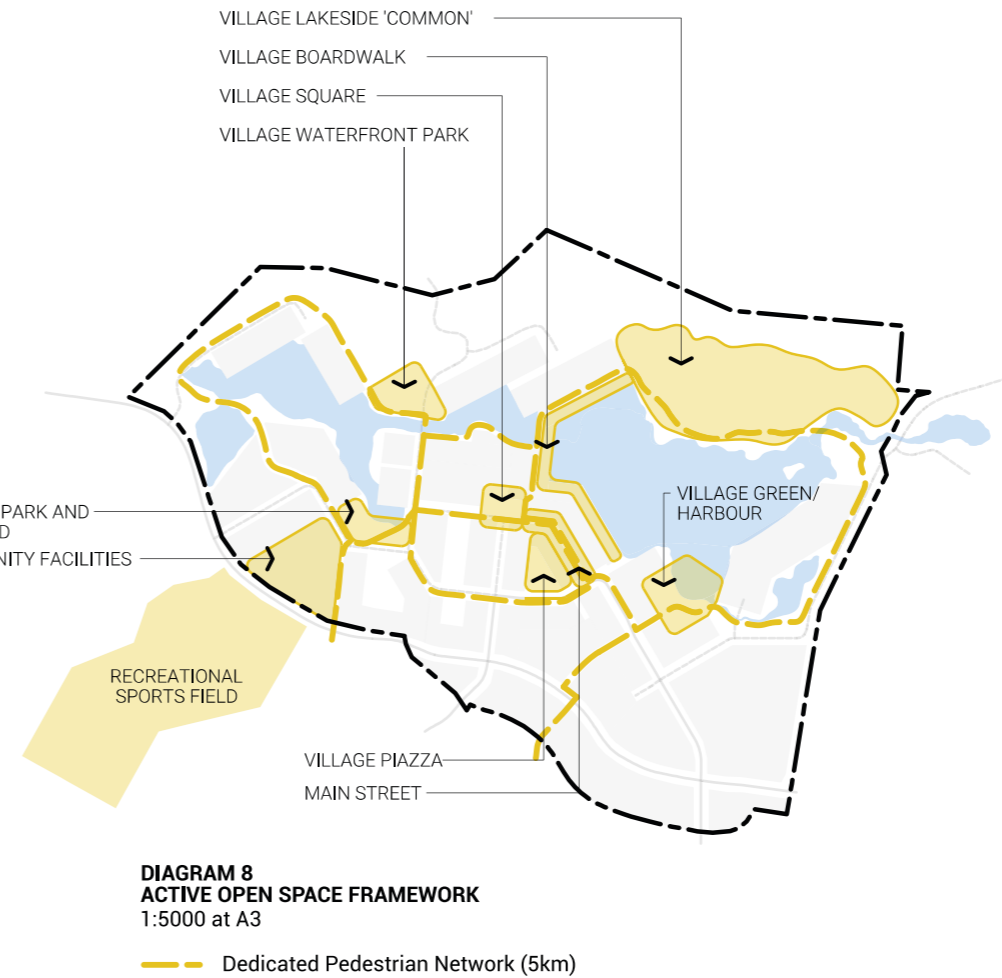
- Community Open Space
- Community Blue Space
- Private Land Ownership
- Public Trails (over Private and Community Open Space)
- Proposed Pedestrian and Open Space Network

Connected and integrated areas of community open space woven through Jack's Point Village. Provision of approximately 10.00ha of dedicated community open space.

3.2.6 / Village Green and Blue Space Network



Connected Green and Blue Spaces providing for a range of different experiences and activities throughout the Village.



Connected Green and Blue Spaces providing for a range of different experiences and activities throughout the Village, including a vibrant main street environment, and Village Green.

3.2.7 / Active Open Space Framework

Open Space Network

The Village Open space network aims to better connect areas of existing community open space through the creation of a new dedicated open space network.

Village Square

Located directly adjacent to the Clubhouse, the Village Square will be a key destination and meeting space within the Village. Providing a space for congregating. From the Village Square, locals and visitors will be able to meander through to the main street, connect out to the vast trail networks and lake.

Village Boardwalk

Connecting the arrival square to the Village Green the boardwalk will provide direct interaction with the lake, meandering through and around the built form. It will offer spaces for relaxing, access into buildings, and views to the surrounding mountains, lake, and open space. Terraces and beaches will lead users down to the lake.

Village Harbour Green

The centrepiece of the Village open space network, the Village Harbour and Green, sheltered by the surrounding buildings will provide for uses such as;

- A beach, for relaxation on long summers days.
- A jetty to launch small sailboats, kayaks, or swimming.
- Terraced Lawn areas for lounging and socialising.

Uses surrounding the Village Harbour / Green will range from Restaurants, Bars, Cafés to activate the space.

Village Common and Waterfront Park

Access to the Village Common will be via the pedestrian and cycle network through the Village. The Village Common intends to provide a green border to the Village directly fronting Lake Tewa that is dedicated to the community, protected and secured for future generations. This space will provide for interaction with the lake and create the experience of feeling surrounded by nature with native planting, open grass areas for recreation.

Enclosed by the Village Beech Forest rehabilitation project to the west uses for this space may include, small fruit tree orchards, greenhouses, a jetty, pump track, spaces for undertaking yoga and other recreational / wellbeing focused activities. The Village Common will also provide spaces for events to be held such as small concerts and festivals. The Waterfront Park is associated with the Village Common and is connected via the trails network through and around the Visitor Accommodation precincts.



3.2.8 / Existing and Proposed Blue Network

Lake Tewa

The centrepiece of the Village, Lake Tewa is proposed to be increased and enhanced through the creation of additional blue space. Adding to the amenity, of the surrounding areas, movement opportunities. The trail networks provide loops around the water bodies, allowing for enjoyment of the lake in its entirety whilst providing a range of different experiences along the way.

Village Park and Wetland

A key function of the Village Park and Wetlands is to provide protection and enhancement of the water quality of Lake Tewa. Wetlands will provide detention, filtration and treatment of runoff from roads and development areas. Boardwalks will connect across these wetlands to small areas of open space to service the surrounding precincts.

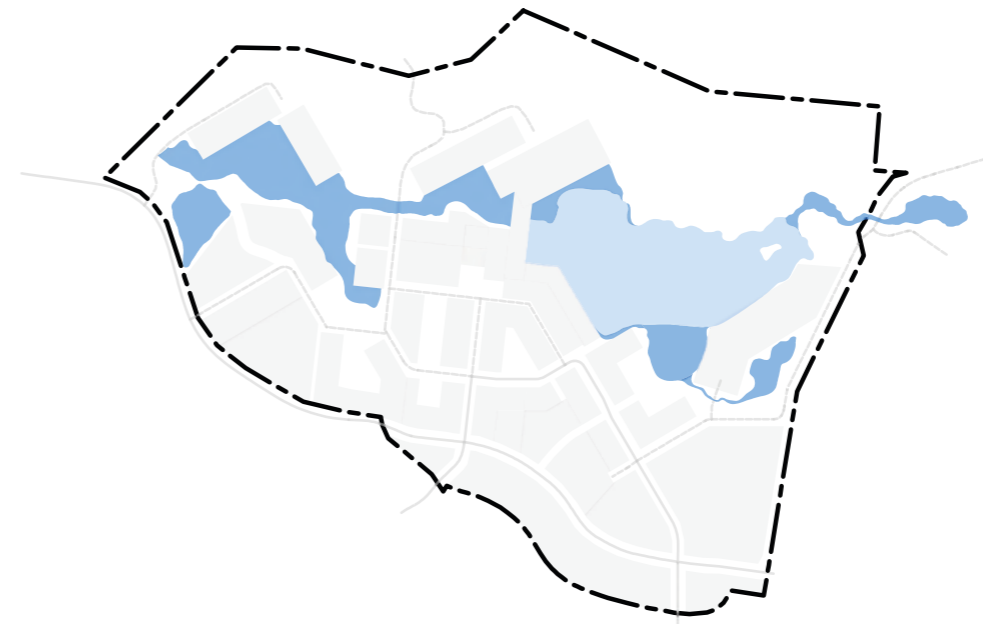


DIAGRAM 12
EXISTING AND PROPOSED BLUE NETWORK
1:5000 at A3

- Existing Lake
- Proposed Lake Extension

Increased area of Lake Tewa, increasing amenity and opportunities for water based recreation.

THE SPATIAL PLANNING OF THE VILLAGE NOW PROVIDES FOR PRECINCTS OF LANDUSE ACTIVITIES CONNECTED BY A NETWORK OF PEDESTRIAN AND CYCLE TRAILS, AS OPPOSED TO ROADS.



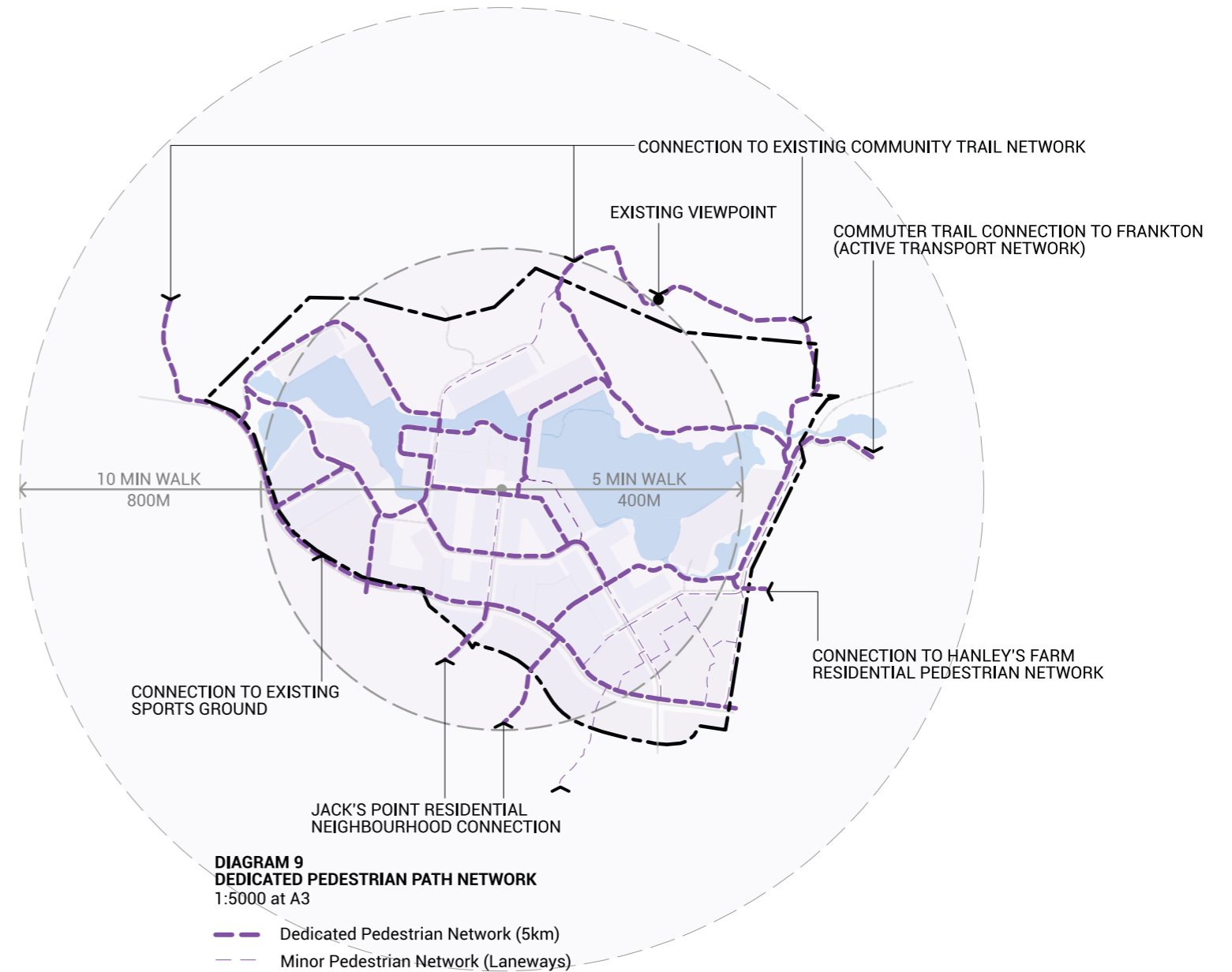
3.2.9 / Dedicated Pedestrian Path Network

To provide alternate means of getting around the Village and its open space network, a dedicated trail and cycle network is proposed. This will greatly enhance and connects to the already established network of trails throughout Jack's Point.

Cycleways will be separated from motor vehicle movement where possible by buffers of vegetation and landscaping.

The trail network will consist of, boardwalks, hard-surfaced trails such as concrete, gravel/ chip, or understated mown tracks into the vast areas of brown top grassland located throughout the open space network.

A series of loops have been created, to ensure the efficiency of movement around, and through the village. A connection to a commuter trail (Southern Corridor Study) that directly connects to Frankton is being provided for and is subject to further planning and discussion with other landowners in the catchment.



Adding approximately 5km to the existing Trail Network, creating a series of Village Loops and enhancing connection to the existing trails at Jack's Point.

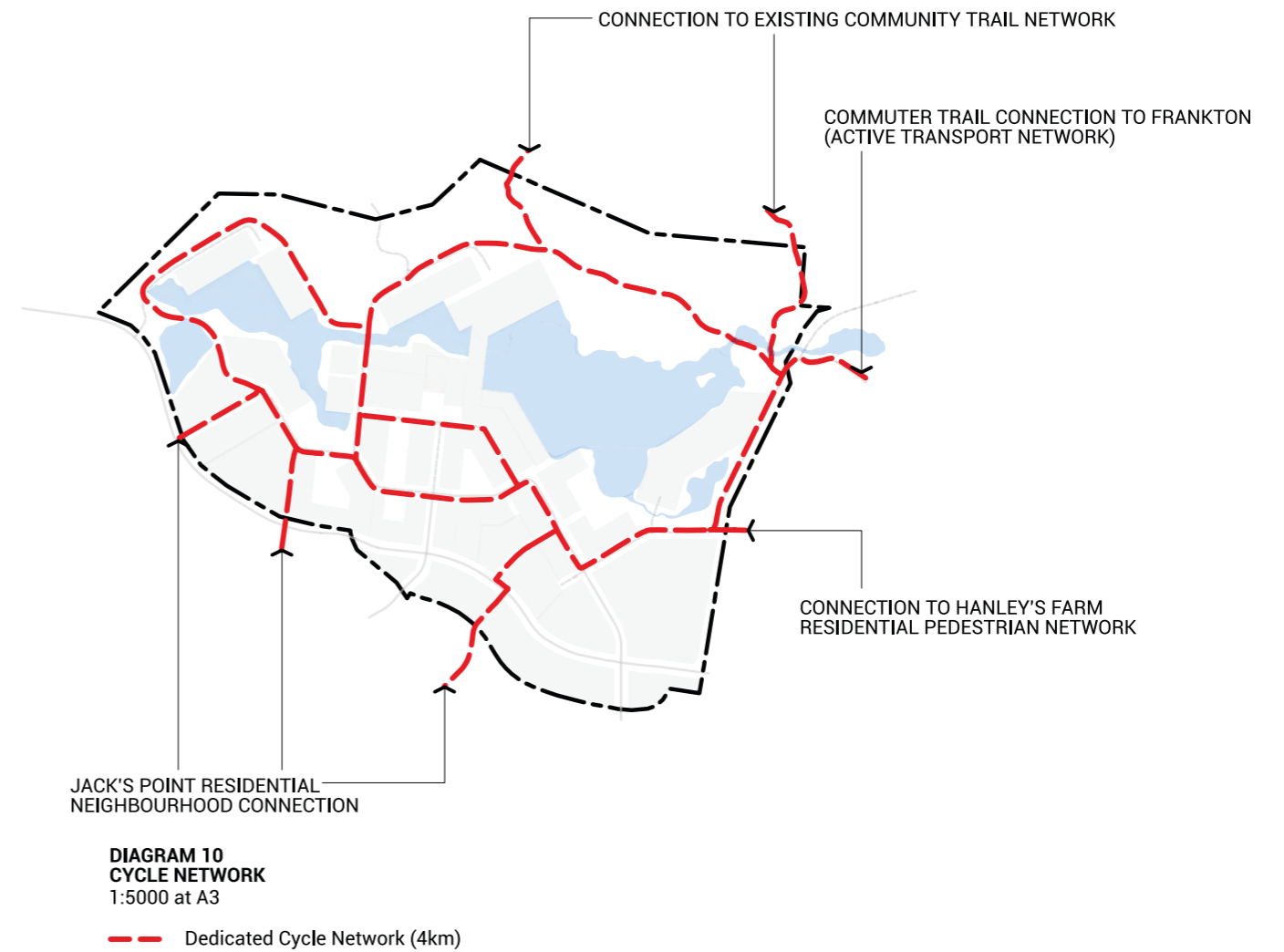
3.2.10 / Dedicated Cycle Network

To provide alternate means of getting around the Village and its open space network, a dedicated trail and cycle network is proposed. This will greatly enhance and connects to the already established network of trails throughout Jack's Point.

Cycleways will be separated from motor vehicle movement where possible by buffers of vegetation and landscaping.

The trail network will consist of, boardwalks, hard-surfaced trails such as concrete, gravel/ chip, or understated mown tracks into the vast areas of brown top grassland located throughout the open space network.

A series of loops have been created, to ensure the efficiency of movement around, and through the village. A connection to a commuter trail (Southern Corridor Study) that directly connects to Frankton is being provided for and is subject to further planning and discussion with other landowners in the catchment.



A dedicated cycle network, connected to main centres such as Frankton in Future. Providing alternate means of transport

3.2.11 / Road Network Hierarchy

Public Transport Network

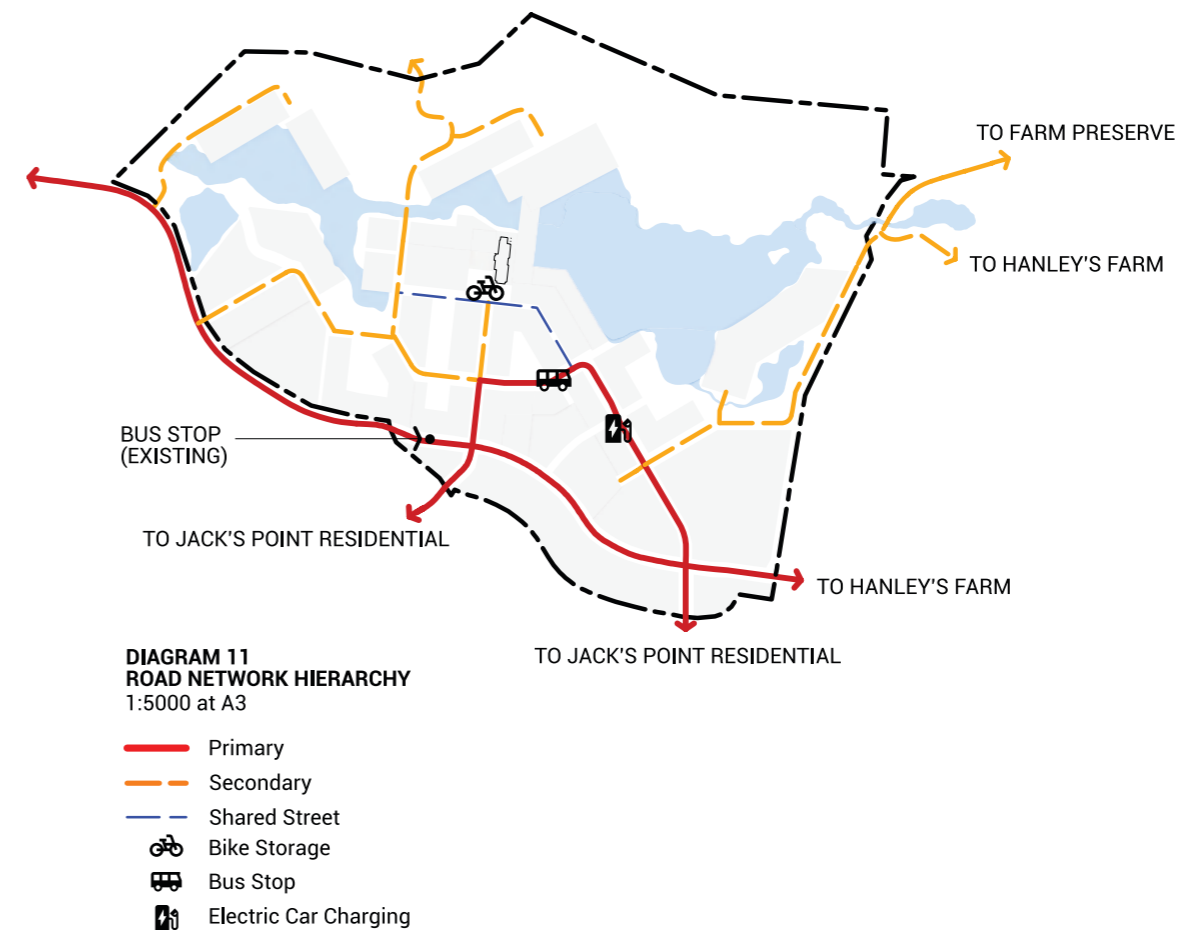
The Village will add to the existing public transport network at Jack's Point through the provision of an additional bus link conveniently located centrally within the Village.

Vehicular Movement Network

Designed around the prioritisation of pedestrian and cycle movement, the vehicular network focuses on moving vehicles through the mixed-use precinct, to provide activation of key frontages whilst being set back from the lake edge, to preserve this for public enjoyment.

Shared Streets (with the ability to be fully closed at certain times) will still enable efficient circulation, whilst retaining focus on pedestrian and cycle movement.

Electric Vehicle Charging Points will be provided along the primary road corridor.

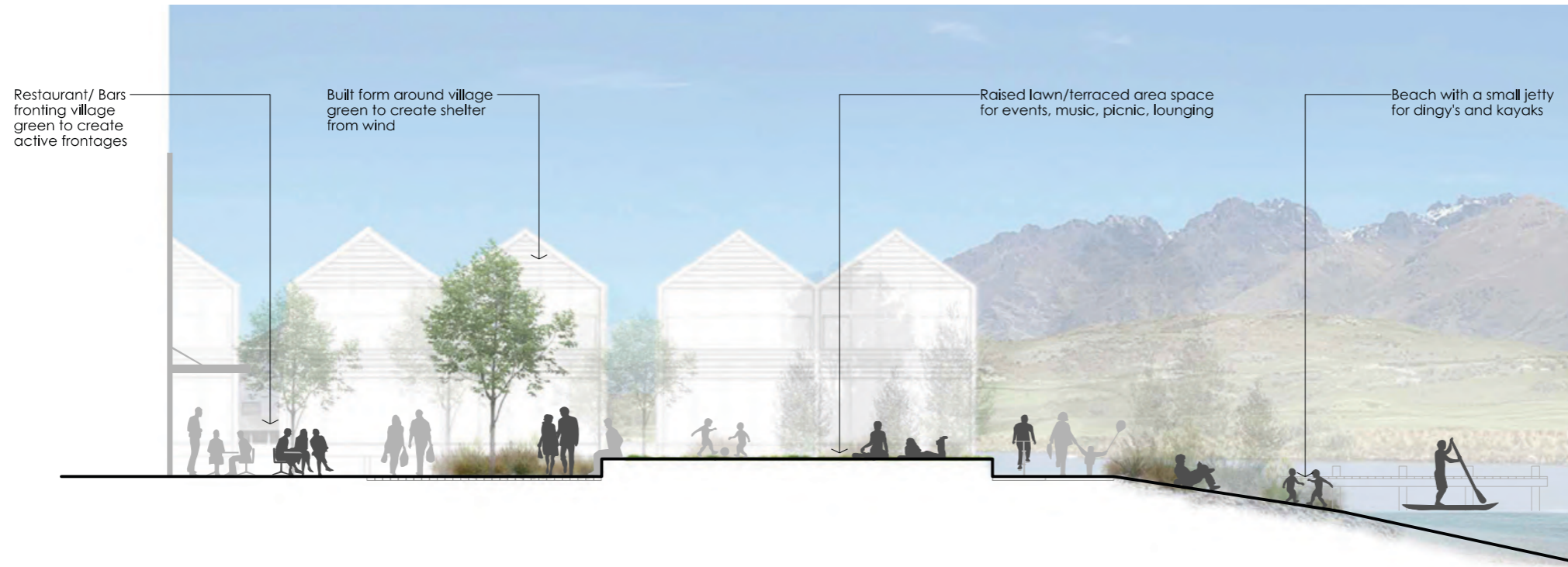


An efficient roading network, removing vehicles from the waterfront areas, ensuring a pedestrian dominated environment. Vehicle connections provided to surrounding residential populations.

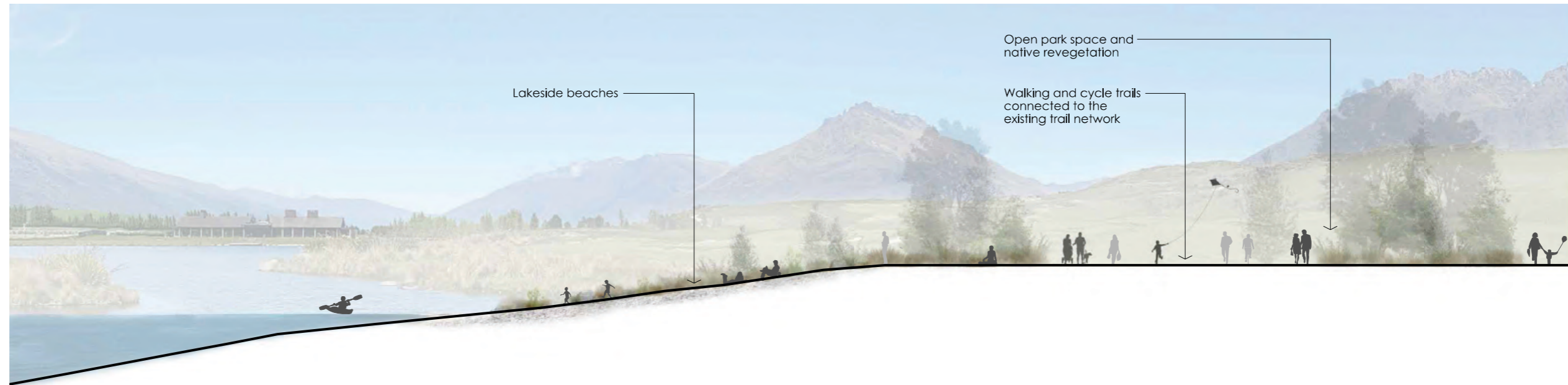
3.3.1 / Illustrative Site Plan – Clubhouse Surroundings



3.3.2 / Illustrative Cross Sections



A-A1 Village Green - Indicative Cross Section

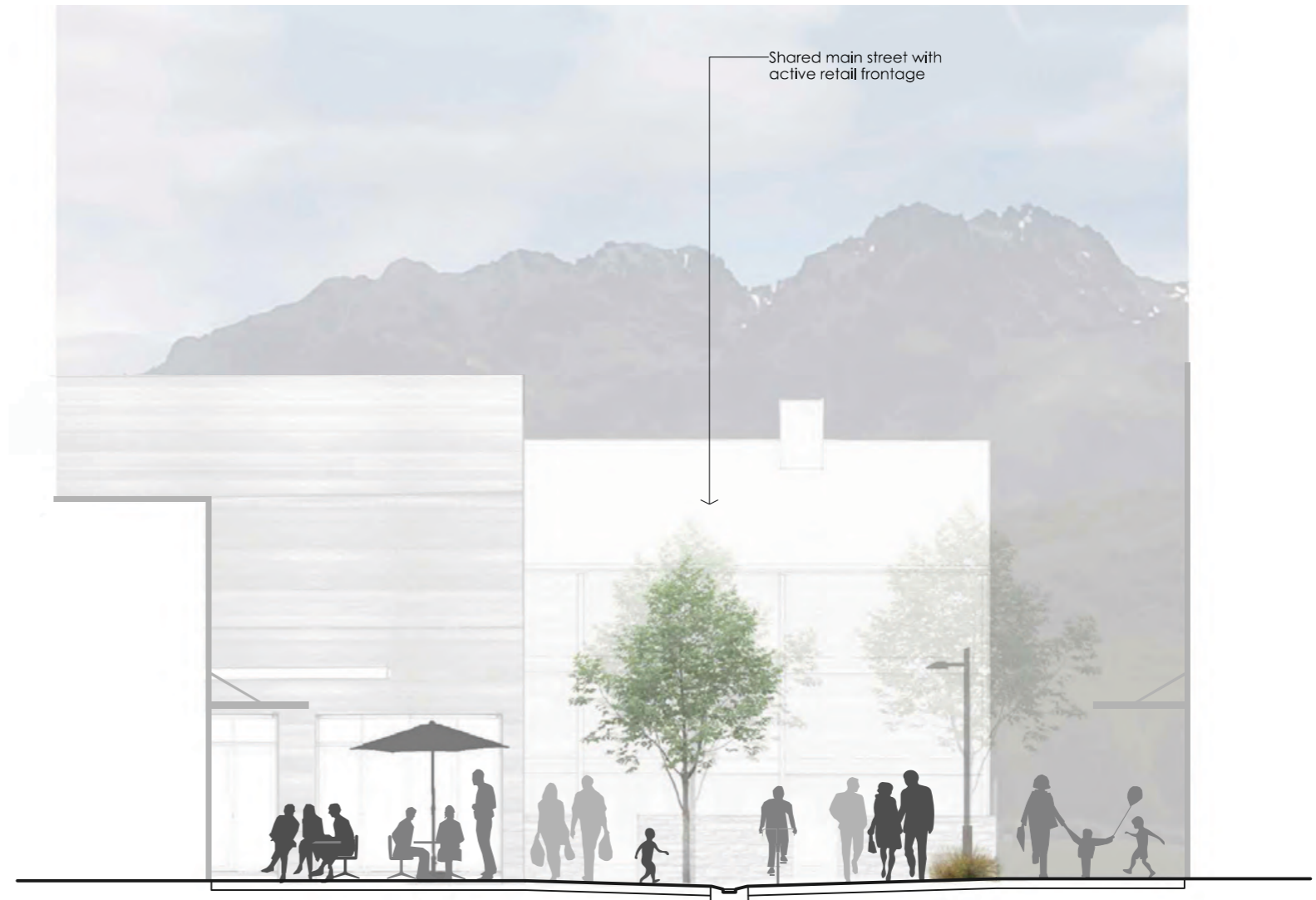


B-B1 Village Lakeside Commons - Indicative Cross Section

3.3.2 / Illustrative Cross Sections

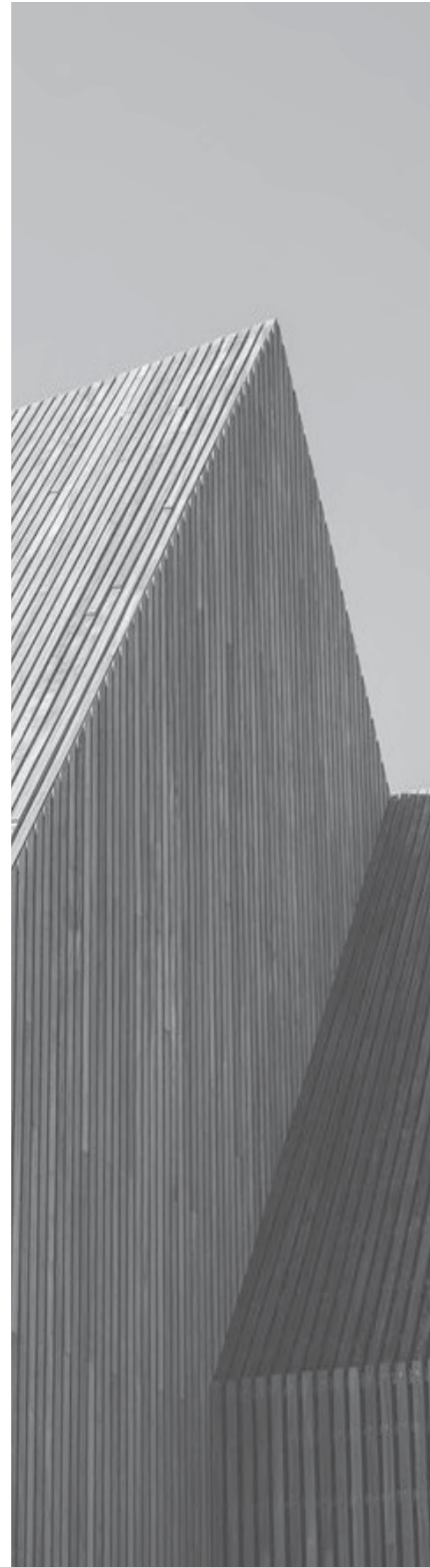


C-C1 Village Waterfront Boardwalk - Typical Cross Section



E-E1 Village Main Street - Indicative Cross Section

3.4 / Reference Imagery



3.4 / Reference Imagery

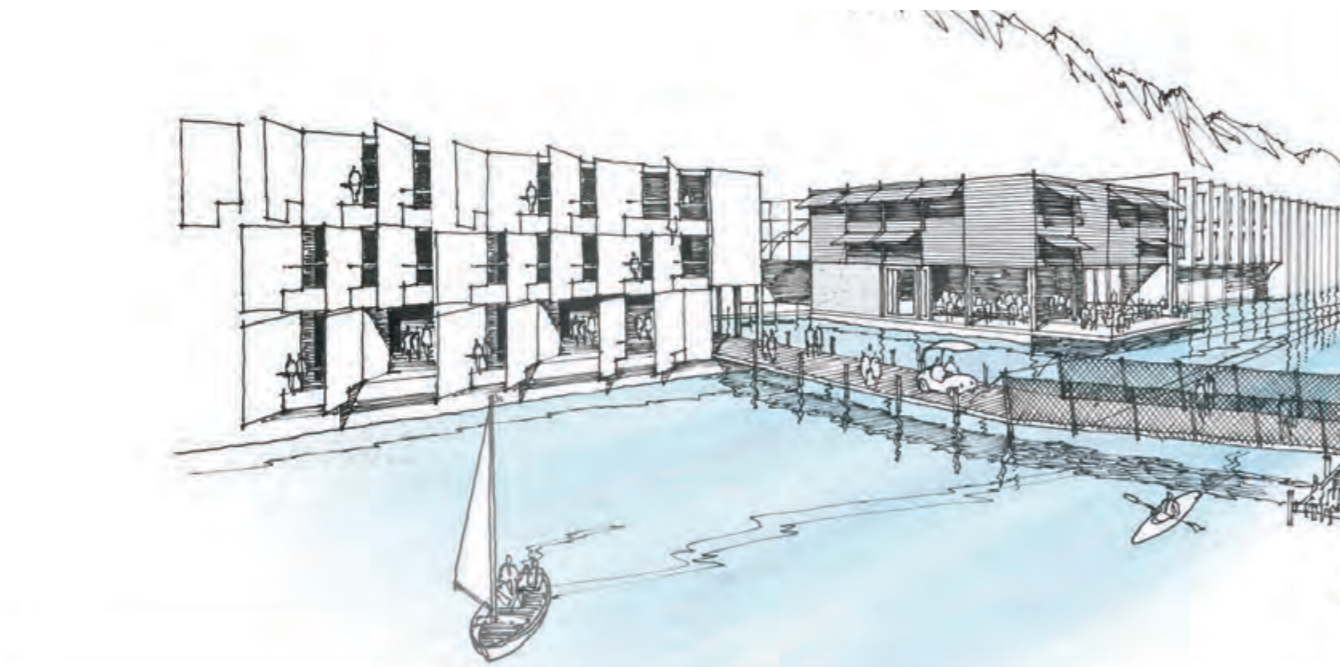
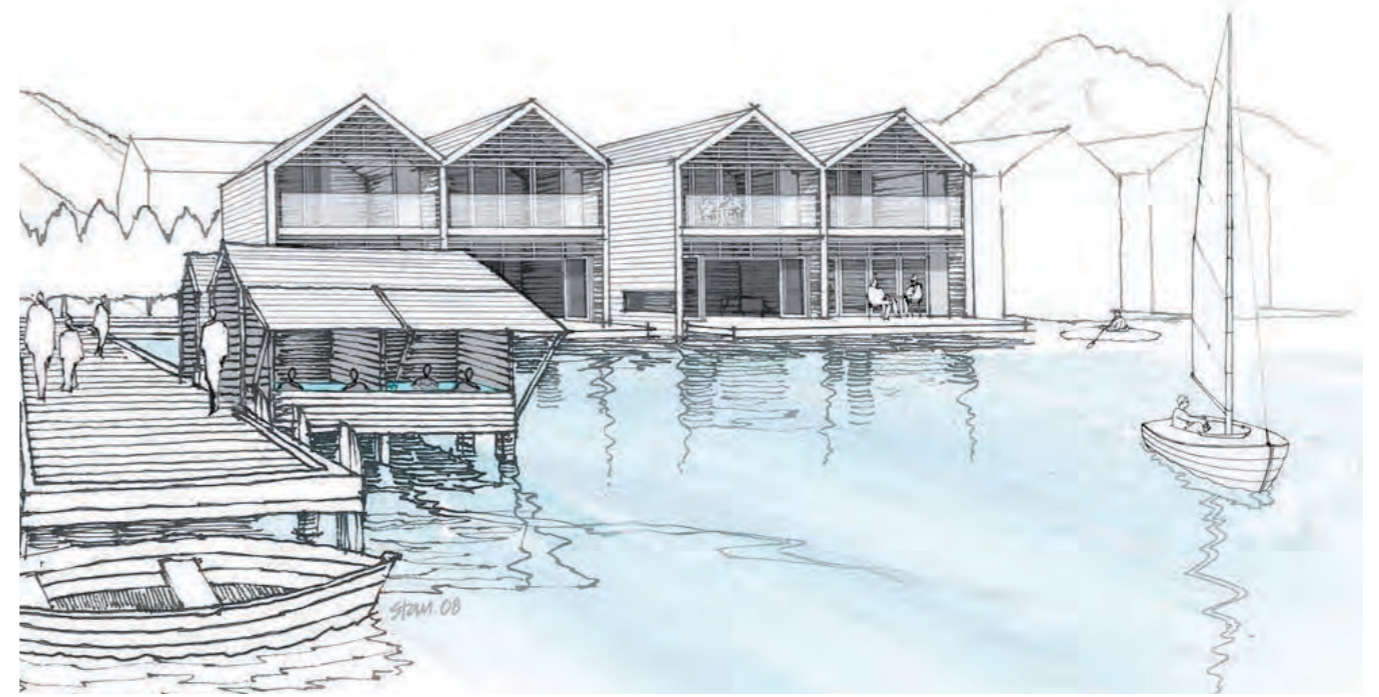
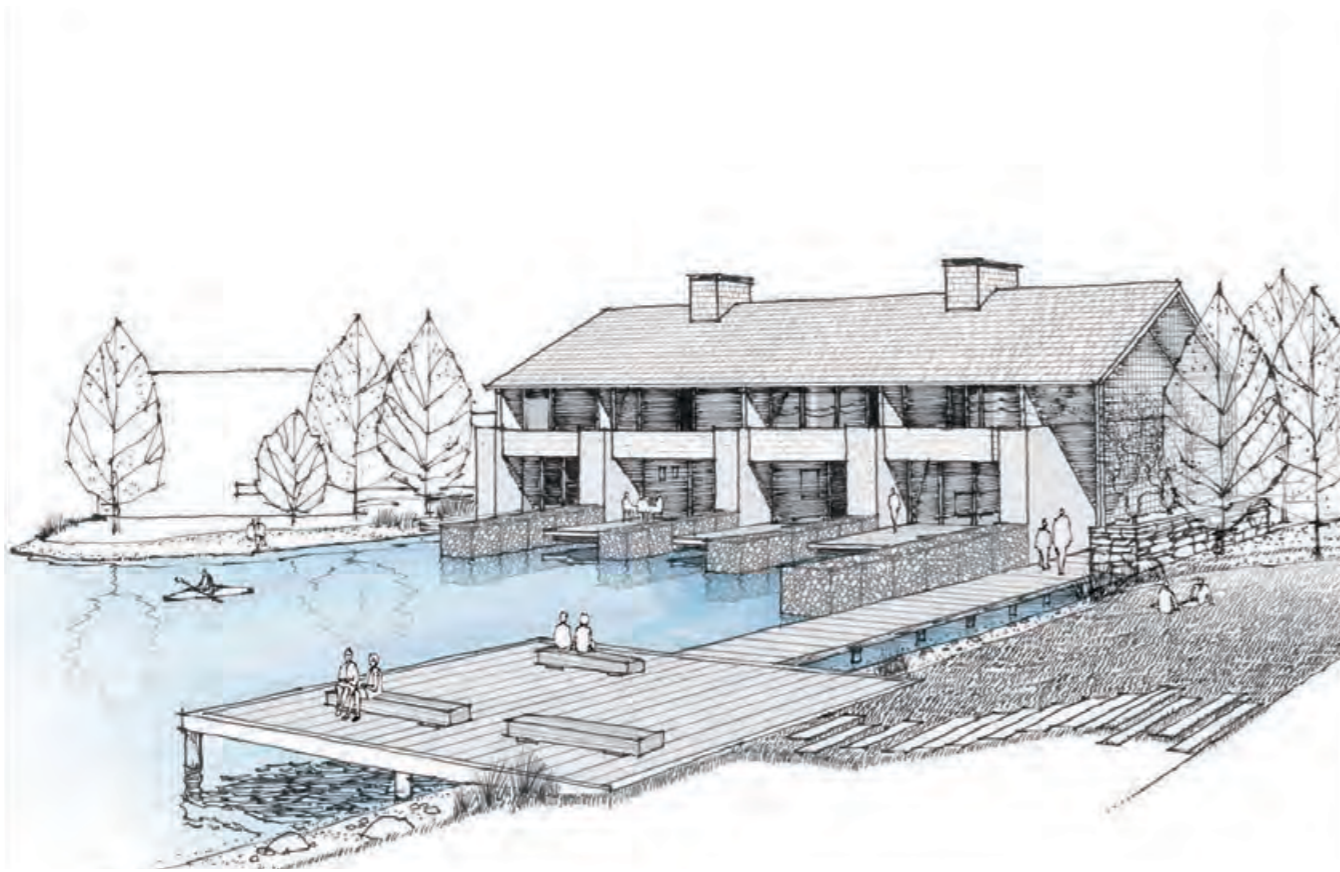


Reference Image - Wetland and Boardwalk - Village integrated with nature. Credit - Henning Larsen.



Reference Image - Village Streetscape and Residential. Credit - Effekt.

3.4 / Reference Imagery



Section 4 / Key Village Metrics and Statistics

Comprehensive Development Plan

4.0 / Key Village Metrics and Statistics

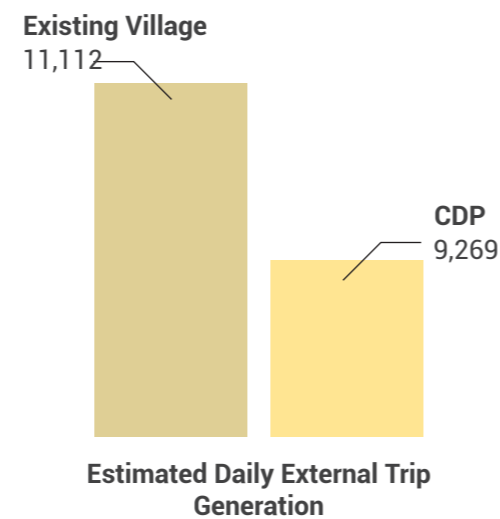
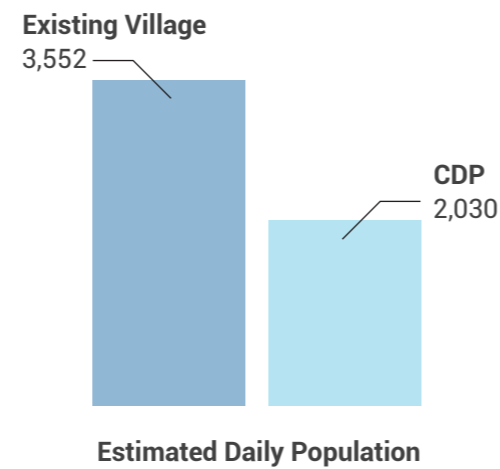
The following section aims to provide supporting metrics and statistics of the Comprehensive Development Plan.

Comparisons are provided between the existing Village and Education Area, and Proposed Comprehensive Development Plan, so that the impact / change on the existing area can be accurately assessed.

Open space Maintenance Costs

The estimated cost associated with the additional open space proposed within the CDP is \$105,000 per annum.

The additional open space area would represent an approximately 20% increase in the current landscape maintenance budget for the Jack's Point residential neighborhoods.



ESTIMATED GFAS	EXISTING VILLAGE (V+E)		CDP	
VISITOR ACCOMMODATION	53,589	M2	67,583	M2
RESIDENTIAL	27,171	M2	25,985	M2
MIXED USE				
RESIDENTIAL	31,048	M2	29,630	M2
RETAIL/F&B	15,043	M2	9,131	M2
COMMERCIAL	14,159	M2	14,630	M2
COMMUNITY/EDUCATION (CDP)	-		5,755	M2
TERTIARY EDUCATION & PRIVATE ACADEMY	34,200	M2	-	
TOTAL	175,210	M2	152,714	M2

ESTIMATED DAILY POPULATION	EXISTING VILLAGE (V+E)		CDP	
MIXED USE	655		608	
VISITOR ACCOMMODATION	721		827	
RESIDENTIAL	326		395	
COMMUNITY/EDUCATION (CDP)			200	
TERTIARY EDUCATION & PRIVATE ACADEMY	1,850			
TOTAL	3,552		2,030	

ESTIMATED TRAFFIC GENERATION	EXISTING VILLAGE (V+E)		CDP	
DAILY EXTERNAL TRIP GENERATION	11,112		9,269	
REQUIRED PARKING AREA*	6.4	HA	3.2	HA

*PARKING GENERATED TO BE ACCOMMODATED WITHIN THE APPLICABLE LOT



 **Jack's Point** | VILLAGE

www.jackspoint.com

Appendix 4: CDP Summary Document



Jack's Point | VILLAGE

COMPREHENSIVE DEVELOPMENT PLAN

VILLAGE OUTCOMES - SUMMARY DOCUMENT
DRAFT
April 2021

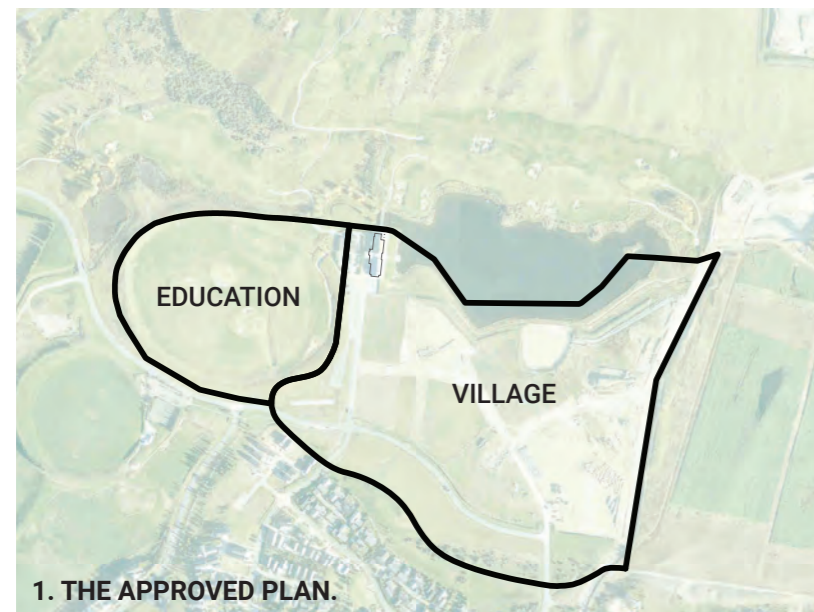
POSSIBLE VILLAGE OUTCOMES.

1. THE APPROVED PLAN.

This plan consists of divided Village and Education Areas and can be continued to be implemented now, as it is today under the district plan.

OUTCOMES OF THIS PLAN

- No guiding vision, resulting in a piecemeal development approach.
- Larger building site coverage with buildings covering 14.35ha
- No design control over the scale of individual buildings.
- Village and Education Areas planned in isolation, no integration with existing neighbourhoods and open space network.
- No meaningful community input.
- Provides for limited community amenity (such as parks, pedestrian and cycle trails, lakefront access, community facilities).
- No meaningful provision for parks and open space on Lake Tewa.
- No designated landuses, no certainty of outcome.
- This outcome would not be supported by the JPROA, QLDC, or Darby Partners.

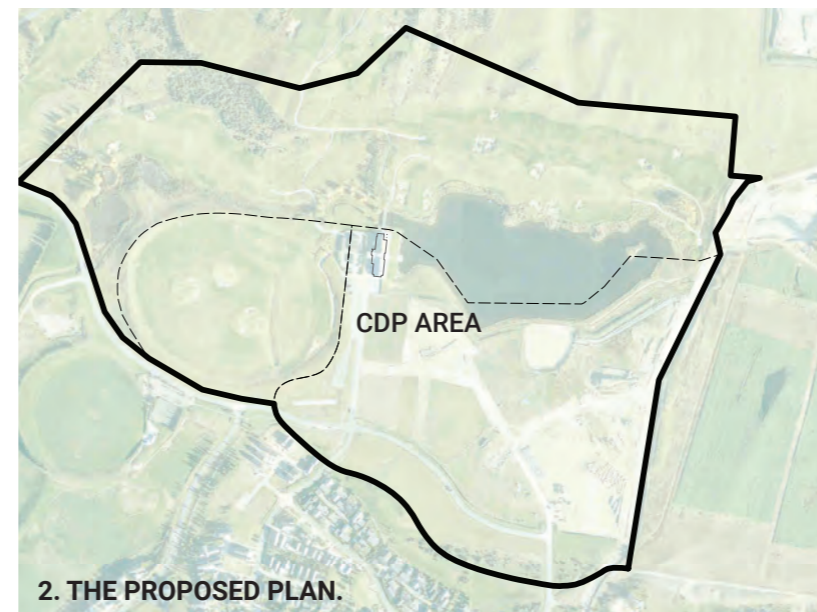


2. THE PROPOSED PLAN.

This proposed plan, or Comprehensive Plan is exactly that: Comprehensive. It has been created with the full knowledge of how Jack's Point has and will continue to evolve, and with the input of the community.

OUTCOMES OF THIS PLAN

- CDP provides a guiding vision ensuring aligned and comprehensive development can occur.
- Reduced building site coverage with buildings covering 12.00ha
- 30ha of new open space.
- Lake Tewa almost doubled in size, with greater community access and frontage.
- 5km's of new trails, both pedestrian and dedicated cycle networks.
- Reintroduction of Native Beech Forests and revegetation.
- Provision for Community Facilities.
- Designated Land Uses and Spatial controls - providing certainty over outcome.
- Better integration with existing neighbourhoods, and open space network.

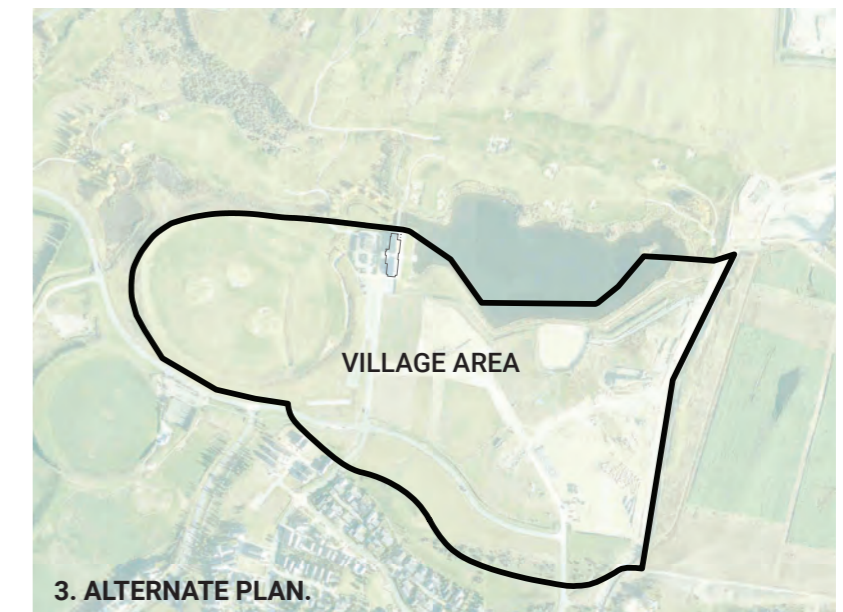


3. ALTERNATE PLAN.

This plan would involve combining the Village and Education Areas into one. This plan is better than the approved, but still far from Comprehensive and does share all of the problems of the approved plan.

OUTCOMES OF THIS PLAN

- Bigger building site coverage with buildings covering 14.35ha
- No meaningful provision of open space and community frontage on Lake Tewa.
- Provides for limited community amenity (such as parks, pedestrian and cycle trails, lakefront access, community facilities).
- Does not integrate / connect to existing neighbourhoods and open space network.



THE APPROVED PLAN.

The Village has always been a key part of the Jack’s Point settlement plan. There are two plans in existence for the Village: the plan that is currently approved by QLDC and the proposed plan, being the Comprehensive Development Plan (CDP), which is a draft proposed plan we are consulting with the community on.

Either of these plans will provide a central hub for a range of activities catering to the everyday needs of locals and visitors. However, the newer of the two – the CDP – will deliver better outcomes for the community.

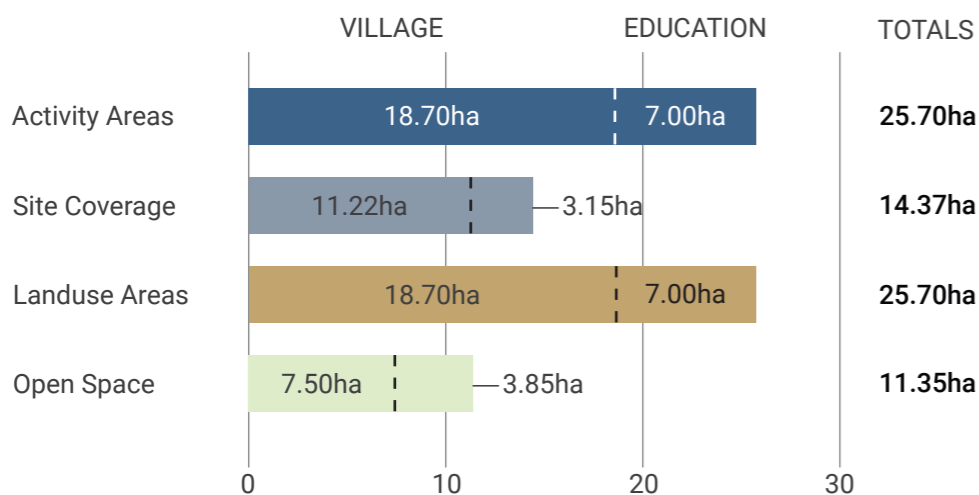
The approved plan for the Village includes a mix of residential, commercial, hospitality and visitor accommodation. The ‘development area’ is 18.70ha. The plan allows building site coverage of 60% of the development area, resulting in 11.22ha of land covered by buildings. These buildings can be up to 12m high, and a maximum of three storeys.

To the south of the Village, an Education Area is approved. The Education development area is 7.00ha, with a permitted building site coverage of 45%. That means that about 3.15ha of land could be covered with buildings, up to 10m high.

Together the Village and Education development areas total 25.67ha of land, with a total maximum building site coverage of 14.37ha.

The approved plan can continue to be developed as it has been to date, without a comprehensive development plan, community consultation or any significant community benefits, or certainty over outcome.

This outcome would not be supported by the developer, the JPROA, or QLDC.



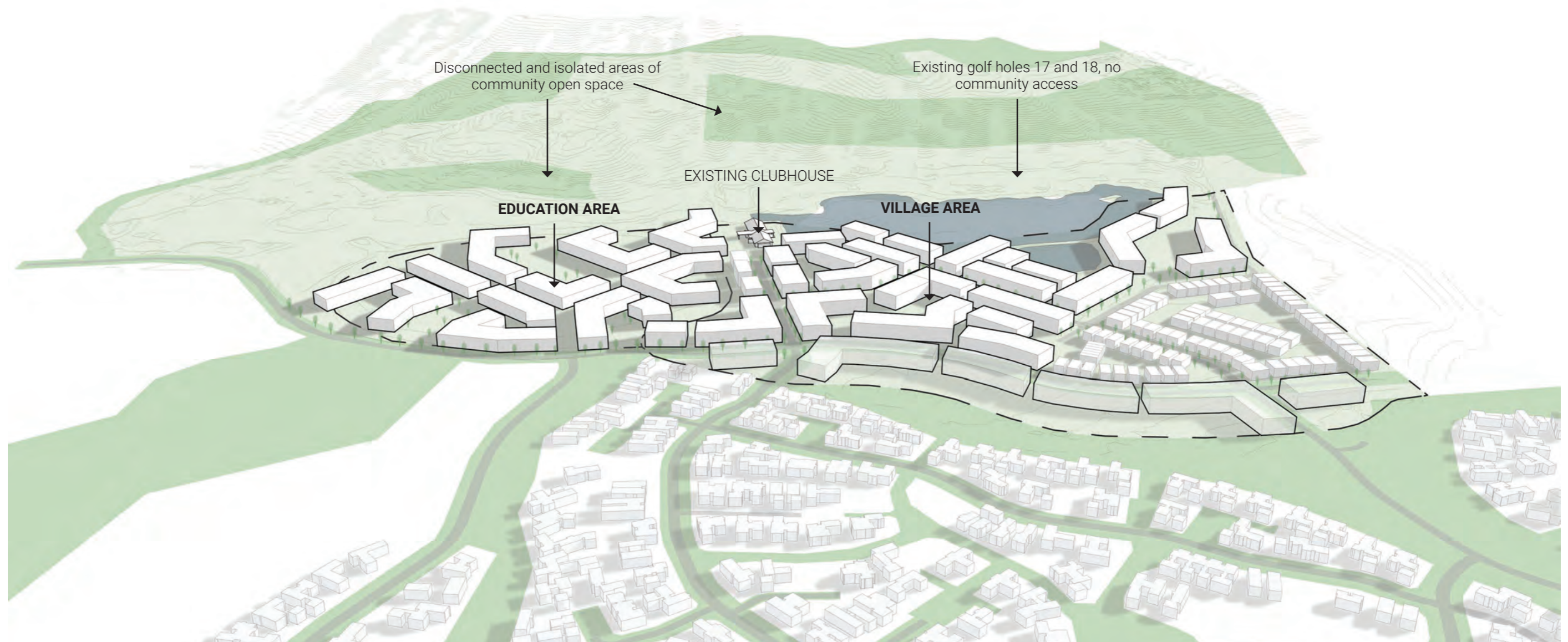
KEY ISSUES WITH THE APPROVED PLAN.

The approved plan has a number of issues that detract from it. These are as follows:

- The existing Village and Education development areas will result in larger building site coverage with 14.37ha of building site coverage, compared to 12.00ha under the proposed plan.
- The density of the village (how close the buildings are to each other) would not allow for appropriate integration of open space and amenity into the Village. The approved plan also does not provide for any design control over the scale of individual buildings.
- Only small areas of land would be provided for parks and open space.
 - o No dedicated community space fronting Lake Tewa.
 - o No meaningful, unrestricted community access to Lake Tewa.
 - o No additional trail linkages connecting to existing JPROA open spaces.
 - o No open space improvements (Beech Forests, or additional amenity).
 - o No additional blue space.
- The Village and Education development areas are planned in isolation, so will not be properly integrated with each other or the existing residential neighbourhoods or open space areas.
- Limited provision for any community facilities.
- There is no control or certainty over the location of activities, such as residential, hospitality visitor accommodation and commercial mixed uses.

THE APPROVED PLAN.

ILLUSTRATIVE EXAMPLE DEMONSTRATING POSSIBLE OUTCOME.



THE PROPOSED PLAN (CDP).

To address the issues with the old plan, we are developing an updated plan for the Village in consultation with the community.

Named the Comprehensive Development Plan (CDP), it proposes less development than what is already approved and would otherwise happen today. The site coverage (land covered by buildings) is 12.00ha, as opposed to 14.37ha in the earlier plan. This reduction in site coverage will be maintained privately through mechanisms such as covenants placed on the titles to ensure that this cap cannot be exceeded in future.

It also allows for much more open space within the Village – a total of 30.00ha instead of the 11.35ha allowed for in the approved plan.

To assist in creating all of this new 30.00ha of open space, the new plan is broader than just the approved Village and includes the Education Area, and land along the western edge of Lake Tewa and the 1st golf hole, freeing up more open space on the lake’s edge that will provide unrestricted community access to Lake Tewa. For this to be achieved, one of the two options may require the exchange of land between the golf course, and the JPROA. This is explained further on Page 6.

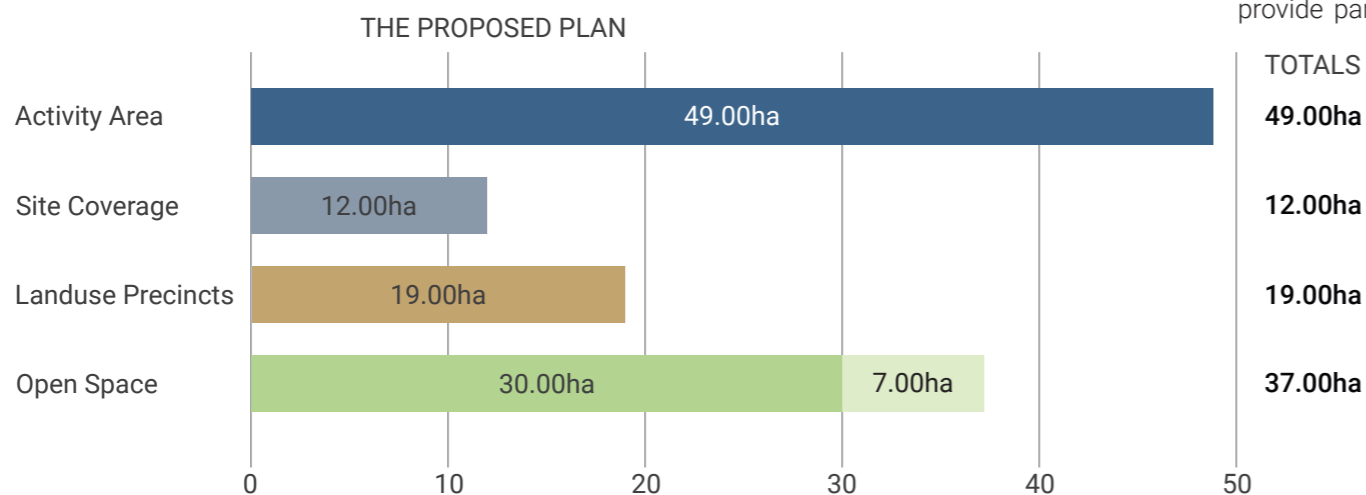
The proposed plan will weave open space through the areas of lower density development, while creating a higher level of amenity for residents and visitors. Importantly, it allows us to better integrate the new village with our existing neighbourhoods, open space, and trails.

This is a better plan because it will have been created with the full knowledge of how Jack’s Point has evolved, and with the input of the community.

KEY BENEFITS OF THE PROPOSED PLAN.

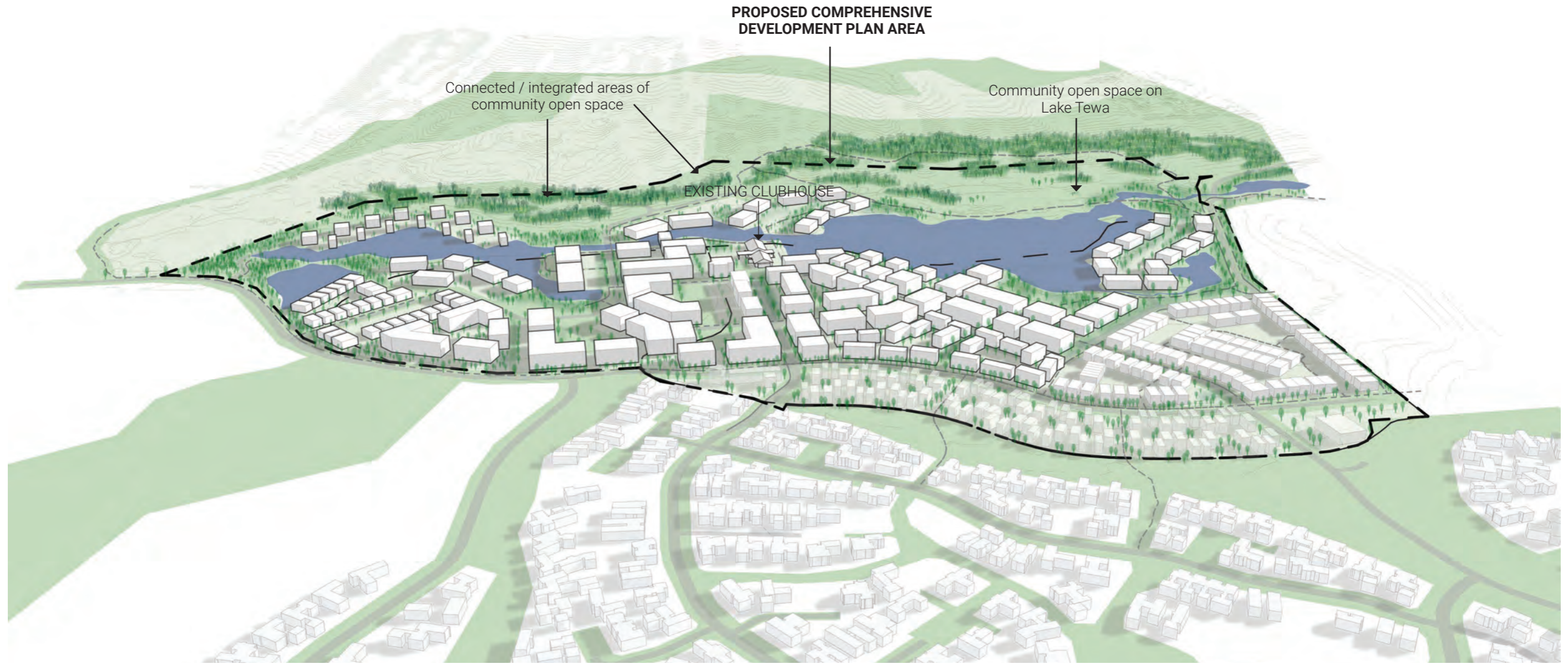
The new plan addresses the issues in the approved plan, and provides for better outcomes by:

- o Reducing the site coverage that would otherwise happen today under the approved Village and Education Areas. The extra space created by a lower density of buildings means we can weave nature and open space through the Village, creating an environment in keeping with the rest of Jack’s Point.
- o Providing for more than 30ha of community open space, with large parts of this fronting Lake Tewa.
- o Ensuring that Jack’s Point Village can endure into the future, discouraging motor vehicle-based circulation, encouraging Live, Work, Play and with a strong focus on sustainability and green technologies / innovation.
- o Assigning areas for specific land uses, which gives the community certainty on what activities can take place in what locations and avoids conflicting activities located near one another.
- o Almost doubling the size of Lake Tewa, providing for community-owned lake frontage and more water-based play and recreation opportunities.
- o Delivering 5km of new trails, creating loops around Lake Tewa and connections to the existing neighbourhoods, as well as planning for a cycle network through the Village, connecting to a future commuter trail to Frankton.
- o Increasing the natural amenity with a Beech Forest to the west of Lake Tewa adding to the existing native revegetation framework of Jack’s Point.
- o The provision of spaces dedicated to community facilities and use.
- o A reduction in potential vehicle movements and parking requirements due to reduced site coverage in the proposed plan. All future Village developments must provide parking on each of their sites to cater for its anticipated use and demand.



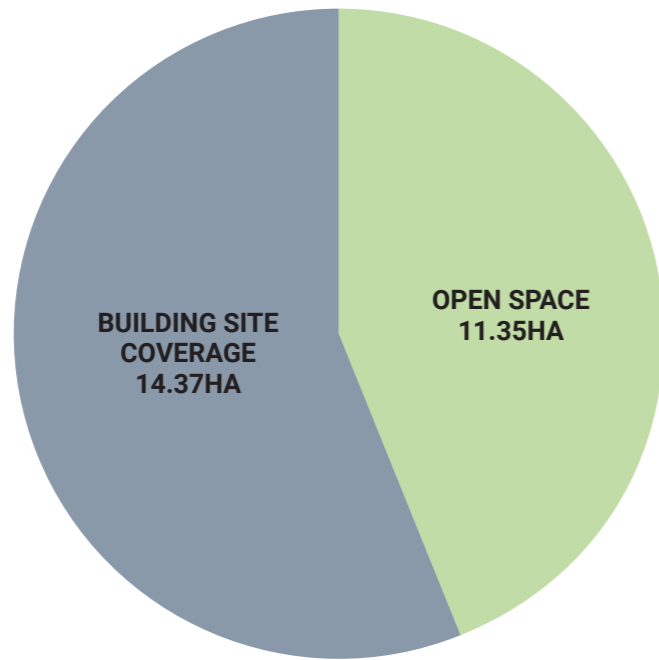
THE PROPOSED PLAN.

ILLUSTRATIVE EXAMPLE DEMONSTRATING POSSIBLE OUTCOME.

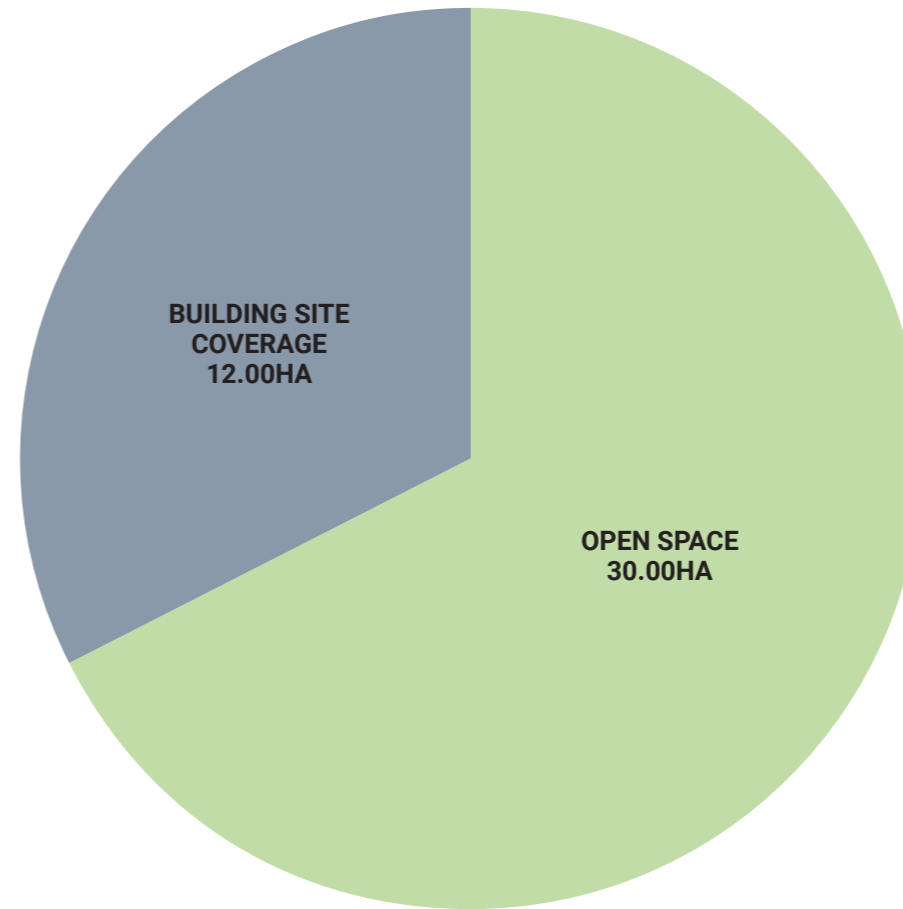


COMPARISON - SITE COVERAGE AND OPEN SPACE.

THE APPROVED PLAN.



THE PROPOSED PLAN (CDP).



WHAT WILL THE LAND EXCHANGE AND GOLF COURSE LOOK LIKE?

With a backdrop of 2300 vertical metres of the Remarkables mountain range and an armchair view of outstanding lake panoramas, Jack's Point Golf course is one of the most visually spectacular in the world. US Golf Digest ranks the course at 44th in the world outside the US, a ranking that we are looking to improve upon with the proposed development plan.

The course has been designed around the natural landscape, with minimal excavation. The course measures 6388 metres (6986 yards) from the championship tees and is built on the most spectacular of Jack's Point terrain. Designed in harmony with the natural environment, the course weaves through native tussock grasslands, dramatic rock outcrops, steep bluffs, and swathes of native bush to the edge of Lake Wakatipu. The presentation of the course is second to none.

Integral to the Jack's Point Village Comprehensive Development Plan outcome of significantly increased community open space, is the relocation of the driving range, clubhouse and five existing golf holes - the 1st, 2nd, 3rd, 17th and 18th. This allows for the creation of 10ha of community open space, located on the shores of Lake Tewa.

This proposal also seeks to improve the Jack's Point golfing experience by utilising flatter more elevated land, with wide ranging views of the whole of Jack's Point, the Remarkables and the surrounding mountains the newly constructed holes will assist in making Jack's Point a more viable golf course for walkers by removing approximately 20m of vertical climb currently a requirement of using the lower holes (1,2,17,18).

We want to ensure that the holes we create are better than the ones we remove, and have a lot of exciting ideas to share as we develop our design thinking further.

There are two options and routings that could create the desired outcomes for golf, and open space.

OPTION 1.

Option 1 involves an equal area land exchange between the JPROA and the land owner of the golf course of approximately 10.00ha. This JPROA land would provide for the creation of 2 golf holes, and a new practice range, with the land currently used as the 17th and 18th holes becoming a community open space with direct access and frontage to Lake Tewa.

Currently, the JPROA land subject to the exchange holds the existing rock storage / quarry area - which needs to be rehabilitated. It also contains large open farmland, and a pedestrian link through to preserve drive, which would be reinstated in a location within close proximity to the existing trail.

Under this option, A new clubhouse, driving range and car parking area located at the end of the existing 4th hole will be created. The clubhouse will provide a view directly over the new 18th hole (previously the 15th) and a stunning view over the course and towards the Remarkables.

3 new holes (8,9 and 10) on private land (subject to further land acquisition) play along a unique gully and ridge line, including a new water hazard that would be in play across all three of these new holes.

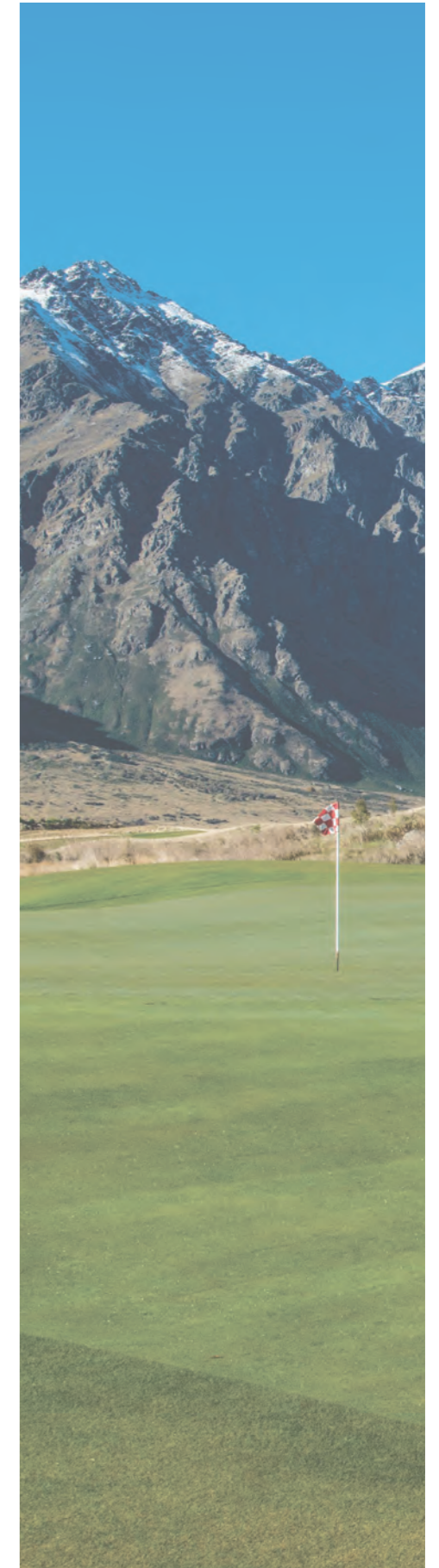
OPTION 2.

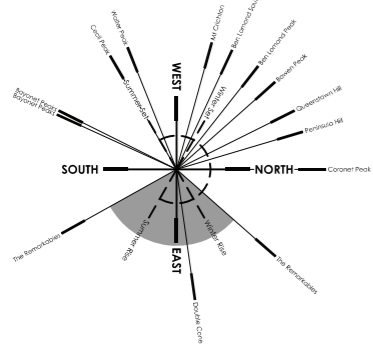
Option 2 does not require any form of land exchange between the JPROA and golf course. It uses land that is already owned or accessible to the developer.






This option features a new clubhouse overlooking the proposed 18th hole (currently the 16th). We think this will be a great finishing hole, due to its dramatic views of the Remarkables and high elevated tee position. The clubhouse and facilities would be accessed through the Village, or by utilising a section of Lodge Road. A new practice range would be located over the existing second hole.

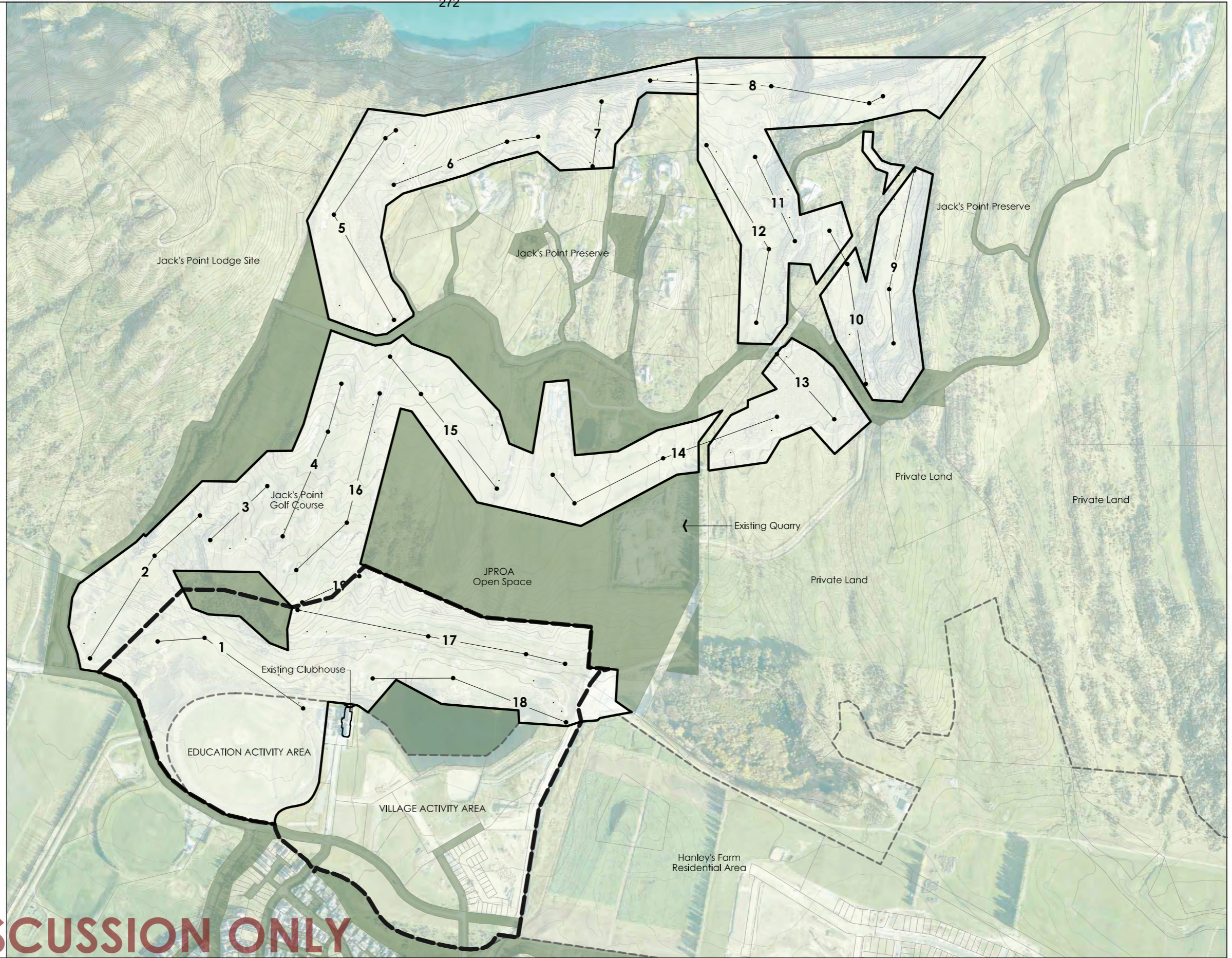
This option utilises three holes similar to the routing in option 1, with two new holes to the south, playing east - west across existing farmland.

The following plans aim to summarise the existing, and proposed two options.



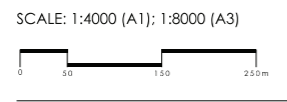


- KEY:**
-  Existing Title Boundaries (LINZ 2021)
 -  Jacks Point Village Proposed Comprehensive Development Plan Area
 -  Existing Jacks Point Golf Course Land (owned by Jack's Point Land Limited, and Jack's Point Land No.2 Limited)
 -  Existing Jacks Point Residents and Owners Association (JPROA) Land
 -  Jacks Point Golf Course - Existing Routing



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DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 9348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz

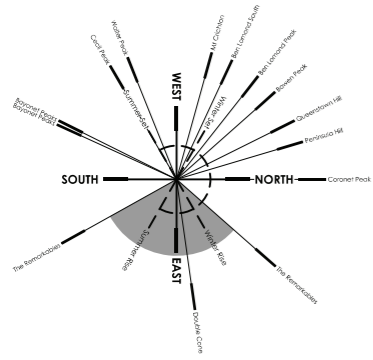


NOTE:
 All boundaries and areas are subject to survey

NO.	DESCRIPTION	DATE	DRAWN	REVIEWED	APPROVED
-	For Information Only	08.04.21	JG	-	-
A	Land Swap Plan - Options	19.04.21	TG	-	-
B	Land Exchange Plan - Options	23.04.21	TG	-	-

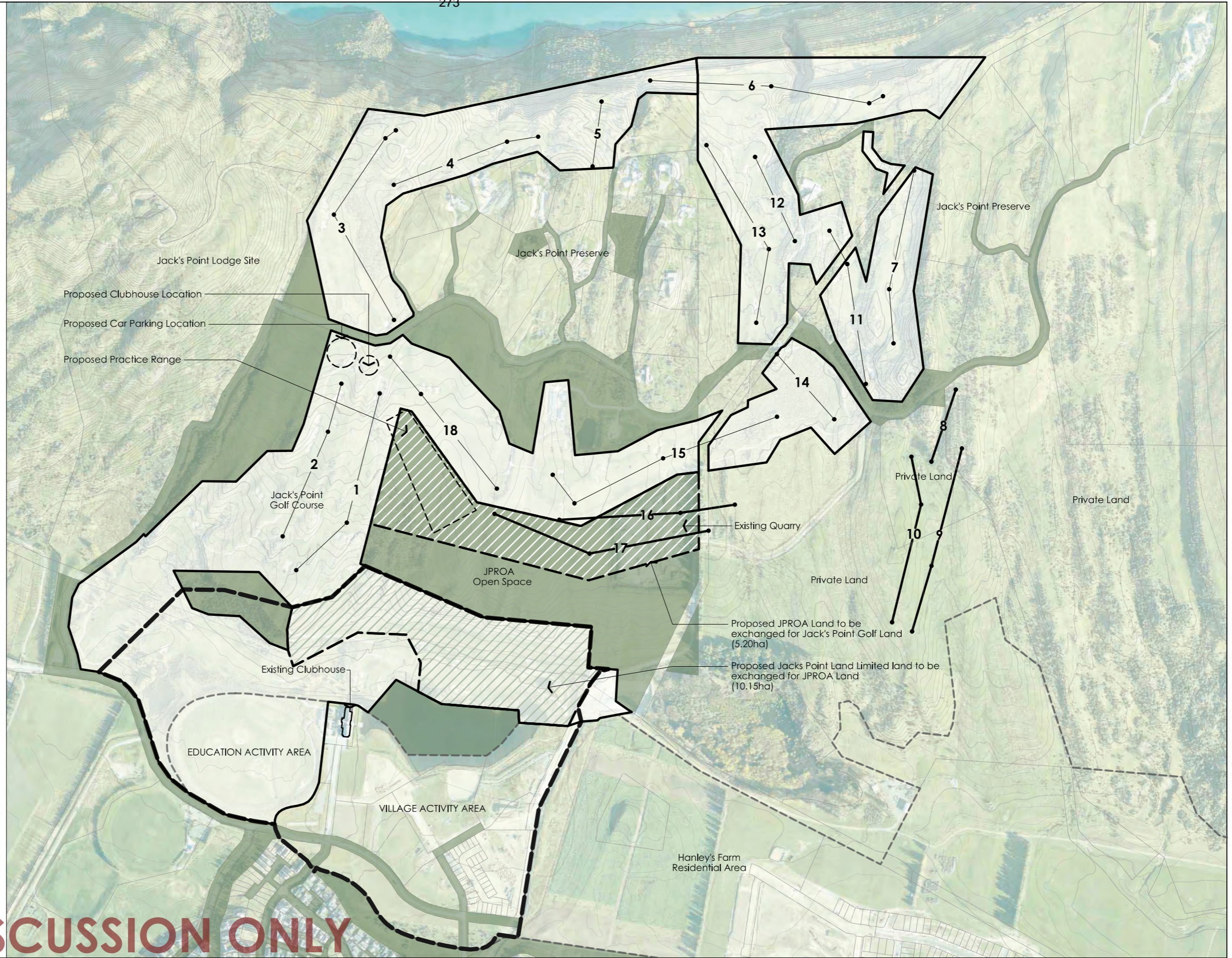
**JACKS POINT
 GOLF COURSE - EXISTING
 SITE PLAN**

PLAN STATUS: **DRAFT** JOB CODE: **JP_25_1** DRAWING NO: **SK-008.01** REV: **B**



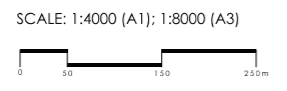
KEY:

- Existing Title Boundaries (LINZ 2021)
- Existing Jacks Point Residents and Owners Association (JPROA) Land
- Proposed Comprehensive Development Plan Area
- Proposed Land Area - 10.15ha (approx) (Jacks Point Land Limited to be exchanged with Jack's Point Residents and Owners Association Land)
- Proposed Land Area - 9.52ha (approx) (Jacks Point Residents and Owners Association Land to be exchanged with Jack's Point Land Limited Land)



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 info@darbypartners.co.nz
 www.darbypartners.co.nz



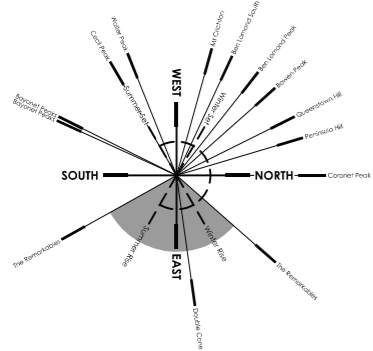
NOTE:
 All boundaries and areas are subject to final design and survey.

REVISION:





NO.	DESCRIPTION	DATE	DRAWN	REVIEWED	APPROVED
-	For Information Only	08.04.21	JG	-	-
A	Land Exchange Plan - Options	19.04.21	TG	-	-
B	Land Exchange Plan - Options	23.04.21	TG	-	-

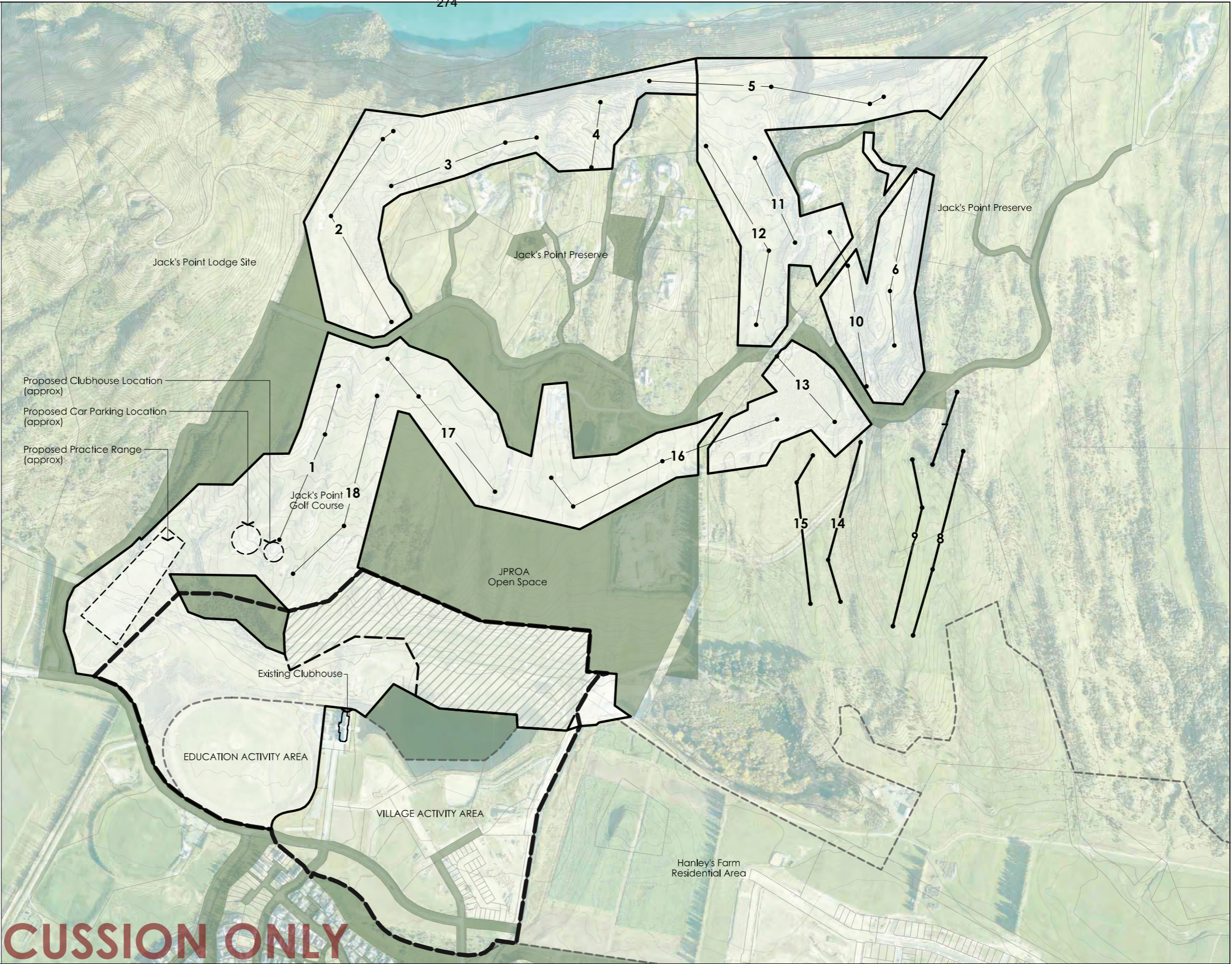
JACKS POINT
GOLF COURSE - ROUTING OPTION 1
PROPOSED LAND AREAS

PLAN STATUS: **DRAFT** JOB CODE: **JP_25_1** DRAWING NO: **SK-008.02** REV: **B**



KEY:

-  Existing Title Boundaries (LINZ 2021)
-  Existing Jacks Point Residents and Owners Association (JPROA) Land
-  Proposed Comprehensive Development Plan Area
-  Proposed Land Area - 10.15ha Jacks Point Residents and Owners Association

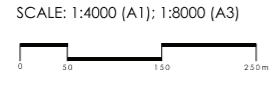


- Proposed Clubhouse Location (approx)
- Proposed Car Parking Location (approx)
- Proposed Practice Range (approx)

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 Tel +64 3 450 2200 Fax +64 3 441 1451
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NOTE:
 All boundaries and areas are subject to final design and survey.

NO.	DESCRIPTION	DATE	DRAWN	REVIEWED	APPROVED
-	For Information Only	08.04.21	JG	-	-
A	Land Exchange Plan - Options	22.04.21	TG	-	-
B	Land Exchange Plan - Options	23.04.21	TG	-	-

JACKS POINT
GOLF COURSE - ROUTING OPTION 2
PROPOSED LAND AREAS

PLAN STATUS: **DRAFT** JOB CODE: **JP_25_1** DRAWING NO: **SK-008.03** REV: **B**

VAJP Jack

WE NEED YOUR FEEDBACK.

As our early settlers and residents of the growing community of Jack's Point, we particularly value your contribution. Please visit our website www.jackspoint.com/cdp where you can view the CDP and supporting documentation and provide feedback as a part of the consultation process.

Please visit our website www.jackspoint.com/cdp where you can view the CDP and supporting documentation and provide feedback as a part of the consultation process.

We also invite you to attend a community consultation workshop, 6pm on the 28th of April 2021 at the Jack's Point Clubhouse, or alternatively, you can email us at villageconsultation@jackspoint.com to arrange to meet in person to discuss the CDP.

Appendix 5: Feedback from Jacks Point Residential Committee

Residential Precinct Committee Report on the Jacks Point Village Comprehensive Development Plan Consultation

1.0 Background

In September 2021 the Jacks Point Developer (JPD) requested the Environment Court (EC) to grant the Section 293 process of the Resource Management Act (RMA) for the consenting of the Comprehensive Development Plan (CDP) required by the District Plan (DP) for the Jacks Point Village (JPV) activity area. JPD was seeking to obtain approval for enlarging the Village Activity Area by incorporating the adjoining Education Activity Area and some Open Space Golf area to the west of the Jacks Point Village & Education Activity Areas.

2.0 The October Directions

On October 15, 2020 the Court issued directions at the request of the parties, being Ms Jo Taverner, Mr C Geddes, Mr R Brabant, the Queenstown Lakes District Council (QLDC) and Coneburn Preserve Holdings Ltd & Others (Jacks Point (JP)) which prescribed the form and content for consultation on the Draft CDP.

In summary these directions required:

- 2.1 JP would provide the parties, the Ministry of Education and the Residential Precinct Committee (RPC) of the Jacks Point Residents and Owners Association Inc. (JPROA) with a draft CDP. This occurred, but with no consultation on its contents, and despite concerns raised by the RPC and s 274 parties, the document was released to Jack's Point residents through the JP website on 24 December 2020.
- 2.2 JP, QLDC and the RPC would confer on and undertake consultation with the Ministry of Education and Jack's Point residents from 13 November 2020 to 12 February 2021. This did not take place as intended by the direction. The consultation process was devised and workshops organised by JP without consultation with QLDC and the RPC, and the workshop sessions had no partnership involvement with RPC or QLDC. QLDC staff and their advisers did not attend any of the workshops nor did they at any time meet with the RPC or Jack's Point residents.
- 2.3 Following the completion of the workshops JP would confer with QLDC and the RPC on the preparation of a report for the EC. This has not taken place.

3.0 The First Draft CDP

The first documentation for consultation was made available by JP to the QLDC and the parties by November 13, 2020 but was not available to residents until December 24 2020. The package, which totaled ninety pages, included:

- 3.1 A plan showing CDP boundaries which were more extensive than the September 2020 plan tabled in the EC.
- 3.2 Extensive historical and aspirational information which was not material to the CDP.
- 3.3 The entire Education zone being re zoned to JPV.
- 3.4 Open Space Golf land on the western shore of Lake Tewa being re zoned to JPV.
- 3.5 An extension of Lake Tewa to the south.
- 3.6 Site plans showing site coverage and building heights in the form of blocks.
- 3.7 No land use options for any of the sites included in the draft CDP.
- 3.8 A significant re write of the DP Chapter 41 provisions.

4.0 The First Consultation Workshop

The first consultation workshop was held on January 6, 2021 and following its completion the RPC raised, as a response to concerns expressed at the meeting and subsequently by RPC members, in writing, a range of matters with JP. Following a meeting with RPC JP agreed that a time extension to the consultation should be agreed by the parties and the EC in order that the CDP could be re drafted to include in summary:

- 4.1 CDP boundaries which matched those in the draft produced with the EC in September 2020 and included the JPV land to the east of Homestead Bay Road.
- 4.2 An executive summary.
- 4.3 Village activity area plans that meet the District Plan requirements for a JPV CDP.
- 4.4 Greater detail for traffic and parking volumes, the capacity for residential, commercial and visitor accommodation and the population numbers those activities will generate, the location of specific activities with the precincts, the location of open space, the location of facilities for first response, the community and the location of a transport hub.

On March 11, 2021 the EC agreed to the amended consultation timetable agreed by JP and the parties in order that the matters 4.1 to 4.4 above could be addressed.

5.0 The Second Draft CDP

A revised draft CDP was made available for consultation and was presented by JP at workshops on March 30, April 15, and April 28.

- 5.1 Feed back to the RPC from these workshops identified that the level of detail that would enable residents to have a full understanding of the implications of an enlarged village on their residential amenity was still inadequate. In particular traffic volumes, parking provisions, building density, form and use were still being not addressed in sufficient detail.
- 5.2 The requirement to register for these workshops and the limit on numbers for two of the workshops were matters of concern to residents.

6.0 The Feedback Workshop

The last Community Consultation Workshop conducted by JP was held on April 28, 2021.

- 6.1 The workshop did not address feedback but did introduce an “Approved Plan” concept and options for a new golf course layout which had not been provided to any previous workshops but had been raised with some members of the RPC.
- 6.3 The workshop was informed that the draft CDP presented at the March 30 workshop was the only version JP were supporting and that this version was preferable to the “approved plan” which enabled a much less prescribed development to be undertaken.
- 6.4 The workshop was also advised that the re-development of the golf course would only proceed if some commercial development was enabled on the western side of Lake Tewa.

7.0 The Residents Workshop

On May 12, 2021 the RPC held a residents’ only workshop which was attended by 82 members. The purpose was to enable the committee to obtain responses from its members on the consultation programme and the content of the draft CDP.

- 7.1 There was some support for the consultation process and some satisfaction with the information provided but at the same time there remained, after four workshops, serious reservations on a number of matters.
- 7.2 In particular the lack of detail on parking provisions, traffic flows, building form and height, the mechanisms for ensuring development took place according to the requirements of the CDP and the matters raised in 8.0 below.

8.0 Feedback from RPC to JP

On May 17, 2021 the RPC met with JP to provide feedback from the resident's workshop and the feedback directed by residents to committee members throughout the consultation programme.

- 8.1 That the consultation had been a series of presentations from JP with no CDP land use options offered for the E activity area and this resulted in many residents thinking that the draft CDP as presented was a fait accompli and not open to change by their submissions.
- 8.2 That there is a real concern as to the size of the village proposed in the draft CDP and in particular the extension of commercial land use to the western side of Lake Tewa.
- 8.3 That the level of site by site detail provided in the draft CDP did not meet the requirements for a CDP as per the District Plan which meant that residents did not have any understanding, in the absence of design examples, as to what the extended village would look like. Nor was there a CDP for the existing Village Activity Area so residents had a baseline to compare the draft with.
- 8.4 That the concern with traffic volumes and in village parking capacity had, following the concerns expressed, not been addressed by JP and therefore this remained a significant issue.
- 8.5 That the site coverage and open space calculations provided in the draft CDP did not reconcile given a number of lots in the existing village have been sold and their development does not appear to be subject to the CDP.
- 8.6 That the enforcement of design and site coverage rules on village land already sold and to be sold is not identified. The consenting of the Clubhouse Lane building, in part at 15m, and the design of the first residential precinct in the village being examples of inconsistency.
- 8.7 That the Chapter 41 provisions of the DP in regards to the requirements of a CDP for the JPV have not been met and many residents are not therefore able to provide an informed view and provide meaningful feedback.
- 8.8 That JPD had failed to provide, having agreed to do so, further information on a number of matters including parking, land use within precincts, building form and design, design control, open space maintenance costs, premise numbers and population numbers.
- 8.9 That the participation of the parties, including QLDC, in the compilation of the draft CDP, the consultation programme and the workshops, as required by the joint memo endorsed by the EC, did not occur.
- 8.10 The RPC advised JP that they were not in a position to sign off on the all parties report due in the EC May 28, 2021 until such time as the above matters have been addressed.

JP advised the RPC that they had raised a number of important matters, including the size of the village proposed in the draft CDP, that the consultation had not clarified and there was therefore a case for seeking a further extension to the May 28 2021 report back to the EC so these omissions could be remedied by further consultation with the residents. The RPC supported this position.

The RPC remain committed to completing the consultation on the CDP on the terms and conditions agreed in the memo endorsed by the EC with information for the CDP being supplied in accordance with the provisions of the DP.

On behalf of the Residential Precinct Committee

Clive Geddes
Chair

May 30 2021

Appendix 6: Feedback from RCL

26 May 2021

Jacks Point

By email: kent@darbypartners.co.nz

Sent by: Emma Ryder – JEA on behalf of RCL.

emma@jea.co.nz

RE: RCL FEEDBACK ON THE JACKS POINT COMPREHENSIVE DEVELOPMENT PLAN – DRAFT

This document provides feedback on behalf of RCL on the CDP - Draft document released by Jack's Point April 2021.

RCL are the owners of Lot 3 DP 498079 and Lot 11 DP 498079 located within the Jacks Point Village and which are part of the Northern Precinct (established through the Jack's Point Constitution).



Figure 1: Location of RCL land within JP - Village Area

RCL are wary of changes to the District Plan zoning, including the rules of the zone, and think the process should just involve the Comprehensive Development Plan (CDP).

There is a need to reformat and streamline the document if it is to be incorporated into the District Plan. There are rules in the District Plan where activity statuses are affected by whether compliance with the CDP is achieved. This means that it should be unambiguous as to whether an activity complies with the CDP or not. Many of the “design principles” etc. are too vague to be able to be applied in

this manner. The CDP should be reduced to a more succinct document showing plans and standards. The design guidance should be put into an accompanying document for the Southern Precinct which could form the guidelines for the Southern Precinct Design Review process which is privately administered.

As such, the Northern Precinct has its own privately administered Design Board and as such, land within this area should not also be subject to additional design principles which JP are currently seeking be included through the CDP.

The proposed changes to Chapter 41 of the PDP have been reviewed in Table 1 and the Draft CDP has been reviewed and amendments are sought within Table 2 below.

DRAFT

Table 1: Review of the proposed changes to Chapter 41 of District Plan

Ref	Description	Comment	Action
Table 2 41.4.2.1	<p><i>Village Activity (V) and V(HB) Areas</i></p> <p><i>41.4.2.1 Any commercial, community, residential, residential visitor accommodation, homestay, or visitor accommodation activity within the Jacks Point (V) or Homestead Bay (HB) Village Activity Areas, including the addition, alteration or construction of associated buildings, provided the application is in accordance with a Comprehensive Development Plan incorporated in the District Plan, which applies to the whole of the relevant Village Activity Area and s Activity Status is sufficiently detailed to enable the matters of control listed below to be fully considered.</i></p> <p><i>Control is reserved to:</i></p> <ul style="list-style-type: none"> <i>a. the layout and orientation of built form, open spaces, roading pattern, car parking, and pedestrian and cycle access;</i> <i>b. the bulk, location and external appearance of buildings and associated including the creation of active frontages adjacent to roads and public spaces;</i> <i>c. the density and location of any proposed residential activity;</i> <i>d. the location of any proposed commercial and community activity;</i> <i>e. landscaping;</i> <i>f. streetscape design;</i> <i>g. the formulation of design controls in relation to buildings, open space, and streetscapes and an appropriate legal mechanism to ensure their implementation;</i> <i>h. the adequate provision of storage and loading/ servicing areas;</i> <i>i. traffic effects.</i> 	<p>The list of activities in the zone is much more restrictive than the activities identified in the CDP Standards.</p> <p>Recreation activities and retirement villages are currently not listed and will require a discretionary activity consent.</p>	<p>Add in recreation activities and retirement villages to listed activities.</p>

41.5.2.1	<p><i>Scale of Commercial Activity</i> <i>The maximum net floor area for any single commercial activity (as defined in chapter 2) shall be 200m².</i> <i>For the purpose of Rule 41.5.2.1, commercial activities are as defined in Chapter 2, but excludes markets, showrooms, professional, commercial and administrative offices, service stations, and motor vehicle sales.</i></p>	How is this justified?	
41.5.2.2	<p><i>Building Coverage</i> <i>On any site within the (E) Activity Area, buildings shall not exceed a maximum site coverage of 45%.</i></p>		<p>Retain existing DP rule.</p> <p>Building Coverage On any site within the (E) Activity Area, buildings shall not exceed a maximum site coverage of 45%.</p>
41.5.2.3	<p><i>Within the Jacks Point Village JP(V) Activity Area the maximum building coverage, calculated across the total Activity Area, shall not exceed 60%.</i></p>	This is very difficult to keep track of and will cause issues in terms of calculating and maintaining current information on building coverages.	Remove rule – leave in existing DP rule
41.5.2.4	<p><i>Building coverage in the Homestead Bay Village</i> <i>Within the Homestead Bay V(HB) Activity Area, the maximum building coverage, calculated across the total Activity Area, shall not exceed 60%.</i></p>	This is very difficult to keep track of and will cause issues in terms of calculating and maintaining current information on building coverages.	Remove rule – leave in existing DP rule
41.5.5	<p><i>Structure Plan</i></p>	The District Plan Structure Plan (Chapter 41 – pages 35-41) of Village and Education Activity Areas are a different shape to the CDP Plans.	Update structure plan so area is consistent with the CDP.

Table 2: Review of Jacks Point Village Comprehensive Development Plan – Draft – Comments

Ref	Jacks Point Comprehensive Development Plan – Draft	Comments	Amendments sought (additions shown <u>underlined</u> and deletions shown through strike-out)
Page 2	<ul style="list-style-type: none"> - Pedestrian Network plan - Cycle Network Plan - Open Space Networks Plan 	This could be shown as one plan.	Combine as one plan.
Page 2	<p>DESIGN PRINCIPLES AMENITY “To ensure the existing valued natural character of the village setting is protected or enhanced by appropriate design solutions.”</p>	<p>What is the “existing natural character of the village setting”? Need to know what is trying to be protected or enhanced.</p>	<p>Change the wording of this as contradictory to a village use if protecting the natural character of the same land.</p> <p><i>Amendment sought:</i> “To ensure the existing valued natural character of the village setting is protected or enhanced by appropriate design solutions and the surrounding natural character is protected”</p>
Page 2	<p>Objectives</p> <ul style="list-style-type: none"> - “Provide a strong framework of blue and green spaces within which built form can be appropriately located. - Create attractive, connected nodes of blue and green space to encourage a range of different activities and uses. <p>...”</p>	It isn’t clear what these spaces are.	Define what blue and green spaces are.
Page 2	<p>Objectives “... Protect of enhance key view shafts...”</p>	What view shafts?	Identify the view shafts.
Page 2	<p>CONNECTIVITY “... should provide a wide range of transportation (outside of the motor vehicle) options and experiences that provide linkages to the wider open space network.”</p>	What does a wide range of transport options mean? There is only one bus stop shown on the plans.	<p>1.2.1(a) states this also. Not a design standard. Is a connectivity issue.</p> <p>Remove repetition and put this into connectivity as opposed to design.</p>

		What does it mean by linkages? within the village or wider?	
Page 2	<i>Objectives</i> ... means non-vehicular related transport (bikes, pedestrian, electric cars, boats etc.)	Electric cars and boats are vehicles.. Also boats? These wouldn't be a effective transport mode?	
Page 2	- "Create a pedestrian focused environment with permeable development blocks that provide connectivity and sense of discovery throughout the village..."	This objective is incomplete. What does a sense of discovery mean?	1.2.1(C) states the same. Remove repetition and clarify what is meant by a sense of discovery.
Page 2	- "Provide an efficient Vehicle network through the Village without impacting the pedestrian environment."	Different wording to 1.2.1(e). Confusing.	Maintain consistency and remove repetition.
Page 3	<i>CHARACTER</i> "...celebrates the history...architectural traditions of the site..."	What traditions? What history? This whole first paragraph on page 3 doesn't make sense.	Explain this wording and update as necessary.
Page 3	"common design language...raw, natural materials.."	This is good and supports the design already seen in Jacks Point.	
Page 3	<i>Objectives</i> "...a diverse range of experiences..."	What experiences?	Clarify what this means.
Page 3	<i>ENVIRONMENT</i> ... <i>Objectives</i>	Hierarchy of roading etc. should be experienced through connectivity as opposed to environment. Solar gain, maximise airtightness etc. are building code issues.	Define hierarchy. Remove the following text: Promote the use of sustainable materials and green engineering systems throughout the built environment through the Design Guidelines. The support of green building techniques within the Design Guidelines encouraging cleverly designed spaces to allow solar gain, maximise airtightness of the building

			envelope, natural ventilation and increased insulation contribute to energy conservation and a healthy and comfortable living environment.
Page 5	<p>1.2.2.4 Building Coverage</p> <p><i>“Building coverage shall not exceed a total of 12.00ha, as measured across the mixed-use, residential, visitor accommodation, and community precincts referred to on the ‘CDP Land use Plan’.”</i></p>	<p>The changes include the removal of the per site building coverage from the district plan provisions and replace with an overall building coverage.</p> <p>This is very difficult to keep track of and will cause issues in terms of calculating and maintaining current information on building coverages.</p> <p>May result in uneven built form development within village, whereby some sites are undeveloped due to the overall area being met etc.</p>	<p>Do not remove the per site building coverage from the district plan as suggested through the draft changes to the Jacks Point Chapter 41. Remove the total building coverage for the Village area as suggested in the Draft CDP.</p> <p>Building coverage will be better controlled by the per site building coverage controls and it would be unfair to have this as an overall maximum, as it would result in a ‘first come, first served’ type development approach and may result in</p> <p><i>Amendment sought:</i> “Building coverage shall not exceed a total of 12.00ha, as measured across the mixed-use, residential, visitor accommodation, and community precincts referred to on the ‘CDP Land use Plan’.”</p>
Page 5	<p>1.3.2.2 Building Coverage</p> <p><i>“Within the residential precinct building coverage shall be within the range of 3.00ha to 3.15ha.”</i></p>	<p>As above – not a good outcome for monitoring of area developed and possible uneven built form within village.</p>	<p>Do not remove the per site building coverage requirement from the district plan.</p> <p><i>Amendment sought:</i> “Within the residential precinct building coverage shall be within the range of 3.00ha to 3.15ha.”</p>
Page 6	<p><i>“inclusive living environment... social clusters of residences...”</i></p> <p><i>“focused around communal landscaped spaces...”</i></p>	<p>It is unclear what this means.</p> <p>It is unclear what this means. Implies people will be turning</p>	<p>Reword this.</p>

		their backs on the street. Unsure how this design approach would reduce reliance on cars?	
Page 6	<p>a) <i>Buildings should be designed to Include rich roof forms of varied planes and lines, the profile of the roofline against the sky should have interest and variety, avoiding repetitive rooflines and forms.</i></p> <p>....</p> <p>d) <i>Laneways typically serve typologies other than apartments. They are primarily for rear access to garages or car parking but also provide an important role in terms of open, communal space within the development.</i></p> <p>e) <i>A high level of landscape amenity should be provided for residents, ensuring garage dominance is avoided.</i></p>	<p>What roof forms?</p> <p>This is contrary to all approved developments.</p> <p>Confusing about laneways – what is the intent of this?</p> <p>Where would this be located?</p>	<p>Specify roof types – what is anticipated/ provided for?</p> <p>Explain why laneways are not appropriate for apartments?</p>
Page 6	<p><i>“Using varied architectural typologies, the mixed-use precincts should read as collections of buildings avoiding monotonous, large built form in order to emphasise a fine grain village character.</i></p> <p><i>Built form should emphasise verticality in width and facade treatments. Laneways and breaks between buildings should feature heavily in these precincts in order to provide fine-grain pedestrian permeability to each precinct, connecting people to the open space network created throughout the Village.”</i></p>	<p>These objectives only include design depictions.</p>	<p>Cover better articulated objectives and give a clear understanding of outcomes.</p>
Page 6-7	<p>1.4.2.1 <i>Activities</i></p> <p><i>“The following activities may be undertaken within the Mixed-Use Precinct are:</i></p>	<p>Doesn’t include residential.</p> <p>District plan doesn’t provide for retirement villages.</p>	<p>Residential use should be included within the mixed-use precinct.</p>

	<ul style="list-style-type: none"> - <i>Visitor Accommodation</i> - <i>Residential Visitor Accommodation</i> - <i>Homestays</i> - <i>Retirement Villages</i> - <i>Retails Activities located at ground level within the areas illustrated as Ground Floor Retail Frontage on the Ground Floor Retail Frontage Plan.</i> - <i>Community Activities</i> - <i>Commercial Activities</i> - <i>Technology and Innovation based businesses”</i> 	<p>Commercial activities- doesn't specify what these are. Very broad. Consideration should be given as to what this includes.</p> <p>What is technology and innovation based business?</p>	<p>Residential use should be included within the mixed-use precinct. There is a separate 'Visitor Accommodation Precinct' and a separate 'Residential Precinct'. Visitor accommodation is included in the Mixed Use Precinct, but residential use is not. Residential allowed in this zone under the District Plan.</p> <p>Under the District Plan, residential activity is a controlled activity (Rule 41.4.2.1), as is visitor accommodation, commercial and community within the Village – JP Zone (of which Lot 3 and Lot 11 are located).</p> <p>It is anti-competitive to allow for a supermarket within one lot only.</p> <p><i>Amendment sought:</i> <i>1.4.2.1 Activities</i></p> <p><i>The following activities may be undertaken within the Mixed-Use Precinct are:</i></p> <ul style="list-style-type: none"> - <i>Visitor Accommodation</i> - <i>Residential Visitor Accommodation</i> - <i><u>Residential</u></i> - <i>Homestays</i> - <i>Retirement Villages</i> - <i>Retails Activities located at ground level within the areas illustrated as Ground Floor Retail Frontage on the Ground Floor Retail Frontage Plan.</i> - <i>Within Mixed Use Area M-9 Commercial activity is restricted to retailing with no limitation on the maximum net floor area to allow for a supermarket.</i>
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			<ul style="list-style-type: none"> - Community Activities - Commercial Activities – DEFINE - Technology and Innovation based businesses - DEFINE
Page 7	<p>1.4.2.2 Scale and Location of Commercial Activities</p> <p><i>“a) Singular Retail Tenancies within the Village Mixed Use Precinct shall be no greater than 200m², apart from within area (M-9), to allow for a supermarket - no maximum limit on floor area is mandated within this area.</i></p> <p><i>b) Any ground floor retail activity/ frontage shall be located in accordance with the areas illustrated as “ground”.”</i></p>	<p>The Ground Floor Retail Frontage does not include Lot 3 and Lot 11.</p>	<p>Remove point b:</p> <p><i>b) Any ground floor retail activity/ frontage shall be located in accordance with the areas illustrated as “ground”.</i></p>
Page 7	<p>Building Coverage</p> <p><i>“Within the mixed-use precinct building coverage shall be within the range of 3.84ha to 3.99ha.”</i></p>	<p>The changes include the removal of the per site building coverage (45%) from the district plan provisions and replace with an overall building coverage.</p>	<p>As above - Do not remove the per site building coverage requirement from the district plan.</p> <p>Amendment sought:</p> <p><i>“Within the mixed-use precinct building coverage shall be within the range of 3.84ha to 3.99ha.”</i></p>
Page 7	<p>1.4.3 Design Controls</p> <p>“Buildings</p> <p><i>a) Within the areas illustrated as the Main Street Area on the Ground Floor Retail Frontage plan, ground floor use shall be non-residential only.</i></p> <p><i>b) In cases where the commercial viability of non-residential use cannot be proven, residential units may be appropriate on the ground floor where they are easily adaptable / converted once demand necessitates further retail / commercial activity.”</i></p>	<p>So Mixed Use can include VA as non-residential on the ground floor?</p> <p>This doesn't make sense.</p>	

Page 8	<p>1.5.1</p> <p><i>The design objectives below establish further detail relevant to the Visitor Accommodation Precinct to enable the matters of control to be fully considered.</i></p> <p><i>The Visitor Accommodation precinct aims to provide a diverse range of lodging types to reflect a rapidly changing and evolving marketplace.</i></p> <p><i>Provide a broad mix of visitor accommodation opportunities, ensuring that it is an inclusive, rather than exclusive environment for visitors whilst also providing for opportunities for lodging within each season.</i></p>	<p>The first paragraph is not an objective.</p> <p>What does it mean by a 'rapidly changing and evolving marketplace'? This implies</p> <p>What does inclusive rather than exclusive mean?</p>	
Page 8	<p>1.5.2.1</p> <ul style="list-style-type: none"> - Homestays - Retirement Villages - Premises for the sale and consumption of food and beverages provided they do not exceed 400m2 of Public Area 	<p>Homestays and retirement villages are residential.</p> <p>Will the food and beverages need to be within the same buildings as VA?</p>	
Page 8	<p>1.5.2.3 Building Coverage</p> <p><i>"Within the visitor accommodation precinct building coverage shall be within the range of 3.96ha to 4.11ha."</i></p>		<p>Do not remove the per site building coverage requirement from the district plan.</p> <p>Amendment sought: <i>"Within the visitor accommodation precinct building coverage shall be within the range of 3.96ha to 4.11ha."</i></p>
Page 8	<p>1.5.3 Design Controls</p> <p><i>In order to ensure the most creative response in the built outcomes for the Visitor Accommodation precinct, limited building controls are proposed.</i></p>		<p>Amendment sought: <i>In order to ensure the most creative response in the built outcomes for the Visitor Accommodation precinct, limited building controls are proposed.</i></p>
Page 9	...	This has the same outcome as 'Mixed Use Precinct'.	

	<p>b) <i>The front or street-facing façade of a large scale or multi-unit building such as a hotel should be articulated in a way that visually diminishes the overall bulk of the building and provides balanced proportion and scale relative to height. The expression of verticality should be prioritised over horizontality.</i></p>		
Page 9	Streetscapes	What about pedestrian safety?	Allocate land for a communal car park?
Page 9	<p>1.6.1 Design Objectives</p> <p><i>The design objectives below establish further detail relevant to the Community Precinct to enable the matters of control to be fully considered.</i></p>	Remove	<p>Amendment sought:</p> <p><i>The design objectives below establish further detail relevant to the Community Precinct to enable the matters of control to be fully considered.</i></p>
Page 9	<p>1.6.1</p> <p>...</p> <p><i>The Community Precinct is a consolidated area (1ha) designed to accommodate a range of Community Activities relating to health care, education, cultural and spiritual wellbeing, emergency services, and civic functions.</i></p>	<p>Why is this all in one corner?</p> <p>Conflicts with the broader zone objectives.</p>	Reconsider location of community activities.
Page 9	<p>1.6.2.2 Building Coverage</p> <p><i>Within the community precinct building coverage shall be within the range of 0.6ha to 0.75ha.</i></p>	As above.	<p>Do not remove the per site building coverage requirement from the district plan.</p> <p>Amendment sought:</p> <p><i>“Within the community precinct building coverage shall be within the range of 0.6ha to 0.75ha.”</i></p>
Page 10	<p>Streetscapes</p> <p>...</p> <p>d) <i>Passive surveillance is critical to achieving a safe and active street environment.</i></p>	This is the only place that passive surveillance is mentioned in the CDP.	This should be pulled through throughout the document.

	e) Provide traffic safety and calming treatments such as islands, medians, and crossings to aid pedestrian connectivity.	Why here? What is wrong with Chapter 29 of the DP?	
Page 10	1.7 OPEN SPACE PRECINCT	Rename	1.7 OPEN SPACE NETWORK
Page 10	1.7.1 Design Objectives The design objectives below establish further detail relevant to the Open Space Precinct to enable the matters of control to be fully considered.	Remove	The design objectives below establish further detail relevant to the Open Space Precinct to enable the matters of control to be fully considered.
Page 10	"most critical and important aspects of the village" "these spaces"	How is this the case? What spaces?	
Page 11	Design Controls 1.7.3 a) Develop a predominantly pedestrian and cycle-friendly character within Jacks Point Village ... c).... "primary road frontage"	But how do people get in and out of the village. Does state the width of cycle lanes. No cars on roads Refer to 1.2.1(e) and 1.2.1(c)	As above, what about a communal car parking area? Include the width of cycle lanes.
Page 12	... - Car parking: Either side of road corridor (e) ... - Car Parking: No requirement	How possible is this in a 5.6m wide road? Is no car parking requirement allowed? Refer to Chapter 29 of the District Plan.	
Pages 13-18	Plans - Land use Plan - Road Network and Hierarchy - Pedestrian Network plan - Cycle Network Plan	As they are currently shown, the pedestrian accesses and cycle ways cut through Lot 11 in two places.	Only one pedestrian/ cycle link is needed through Lot 11. However, this is dependent on the development that occurs throughout the area and the demand for such a link.

	- <i>Open Space Networks Plan</i>		
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DRAFT

Appendix 7: Feedback from Ministry of Education

Chris Ferguson

From: Kent Potter <kent@darbypartners.co.nz>
Sent: Thursday, 27 May 2021 8:30 am
To: Maree Baker-Galloway; Chris Ferguson
Cc: John Darby; Jim Castiglione; Todd Graham
Subject: FW: Process and requirements to establish a private school

Hi team,

For your information, please find below the latest and fairly definitive feedback from the MOE regarding the E activity area at Jacks Point.

Thanks,

kent

From: Lynette Cochrane <Lynette.Cochrane@education.govt.nz>
Sent: Wednesday, 26 May 2021 4:06 PM
To: Kent Potter <kent@darbypartners.co.nz>
Cc: Todd Graham <todd@darbypartners.co.nz>
Subject: RE: Process and requirements to establish a private school

Kia ora Kent,

Please find below our reply to your query on Jack Point.

The Ministry has no particular comments or position on the CDP proposal by Jacks Point. It has no plans for using the land that had been set aside for education facilities following the establishment of Te Kura Whakatipu o Kawarau which is due to open in 2022.

Ngā mihi

Lynette Cochrane | Education Adviser - Network | Otago Southland | Sector Enablement and Support
DDI +64 3471 5206

From: Kent Potter <kent@darbypartners.co.nz>
Sent: Thursday, 20 May 2021 12:18 PM
To: Lynette Cochrane <Lynette.Cochrane@education.govt.nz>
Cc: Todd Graham <todd@darbypartners.co.nz>
Subject: RE: Process and requirements to establish a private school

Hi Lynette,

We have just been reaching to you and others from the MOE to see if there is any feedback on our CDP proposal and how our land at Jacks Point might fall within the wider planning for Education within the Wakatipu Basin.

Any update would be most appreciated.

Thanks,

Kent

From: Lynette Cochrane <Lynette.Cochrane@education.govt.nz>
Sent: Monday, 10 May 2021 3:48 PM
To: Kent Potter <kent@darbypartners.co.nz>
Subject: RE: Process and requirements to establish a private school

Kia ora Kent,

I am still involved and as I have been off on holiday I saw there was another email from Daniel to the Carey Clark who is our Lead Network Advisor for the South Island so I am not sure if you still need to talk to me?

Happy to chat though and see if I can help.

Ngā mihi

Lynette Cochrane | Education Adviser - Network | Otago Southland | Sector Enablement and Support
DDI +64 3471 5206

From: Kent Potter <kent@darbypartners.co.nz>
Sent: Monday, 3 May 2021 2:47 PM
To: Lynette Cochrane <Lynette.Cochrane@education.govt.nz>
Subject: RE: Process and requirements to establish a private school

Hi Lynette,

Are you still involved in the Otago region?

I tried to call, but the number provided in your email signature would not ring through.

Could you please give me a call when you have a second.

Thanks,

Kent

021 676 186

From: Lynette Cochrane <Lynette.Cochrane@education.govt.nz>
Sent: Monday, 16 November 2020 9:44 AM
To: Kent Potter <kent@darbypartners.co.nz>
Subject: RE: Process and requirements to establish a private school

Mōrena Kent,

Following our conversation late last week, I can confirm that at this stage we have no plans for further education in the area. Te Kura o Whakatipu Kawarau which is scheduled to open in 2022 and is expected to accommodate the foreseeable growth.

Ngā mihi

Lynette Cochrane | Education Adviser - Network | Otago Southland | Sector Enablement and Support
DDI +64 371 5206

From: Lynette Cochrane
Sent: Friday, 13 November 2020 2:31 PM
To: 'kent@darbypartners.co.nz' <kent@darbypartners.co.nz>
Cc: 'daniel@townplanning.co.nz' <daniel@townplanning.co.nz>; 'todd@darbypartners.co.nz' <todd@darbypartners.co.nz>
Subject: Process and requirements to establish a private school

Kia ora Kent,

Daniel Thorne from the Town Planning Group has forwarded your query on the process and requirements to establish a private school to me.

There is useful information on applying to register a private school on the MOE website- <https://www.education.govt.nz/school/property-and-transport/roles/private-schools/#sh-private%20school>. I have attached an information pack which sets out the requirements for registration.

There are certain conditions that the Ministry needs to be satisfied are met by the proprietors of a private school for example that its premise, staffing, equipment and curriculum are suitable. In addition private schools have to offer the whole curriculum.

Private schools are governed by their own independent boards and are registered with the Ministry of Education under section 214 of the Education and Training Act 2020 - [Education and Training Act 2020](#) (NZ Legislation website).

I hope this information is of assistance.

Ngā mihi

Lynette Cochrane | Education Adviser - Network | Otago Southland | Sector Enablement and Support
DDI +64 3 4715206
Dunedin Office

education.govt.nz

*We shape an education system that delivers equitable and excellent outcomes
He mea tārai e mātou te mātauranga kia rangatira ai, kia mana taurite ai ōna huanga*



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Appendix 8: Feedback from Remarkables Start Property Ltd

28 May 2021

Email: kent@darbypartners.co.nz

Darby Partners
PO Box 2518
Wakatipu
Queenstown 949

Dear Kent

Jack's Point Comprehensive Development Plan – Environment Court section 293 process

1. As you are aware, Remarkable Start Property Limited and Maori Jack Limited each own a half share in the land at Lot 12 DP 498079 RT 7370026. The Site is within the Jacks Point Village Activity Area of the Jacks Point Zone in the Proposed District Plan.
2. Remarkable Start Property Limited has resource consent for a two-story building, and the operation of a day-care facility and a medical centre on part of the Site and are investigating development options for the remainder of the Site.
3. We recently received contact from you about Darby Partners' proposal to expand the Jack's Point Zone Village Activity Area through its Environment Court appeal on the PDP. Darby proposes to include a Comprehensive Development Plan in the PDP as part of this process.
4. Your email of 2 March 2021 informed us that the proposed CDP would not impact our development rights on our site. We have now taken formal advice on this matter and it has become apparent that the proposed CDP does have the potential to impact our site in a number of ways. Based on the advice that we have now received; we provide the feedback contained in the **Appendix** to this letter.
5. We request the opportunity to engage in a further discussion with you about the feedback contained in this letter at the earliest opportunity. In particular, we are interested to have a further conversation with you about the restrictions that will be created by the proposed Ground Floor Retail Frontage Plan and the potential to provide for ground floor retail on our site.
6. It may be helpful for us to bring our planning and/or legal advisors to this meeting to assist with a detailed discussion of our feedback.
7. We look forward to confirming a further meeting time with you.

Yours sincerely

Lindsey Topp and Matt Stewart

Appendix
Feedback on proposed Jack's Point Comprehensive Development Plan

Subject matter	Relevant provision of the proposed CDP	Feedback
Ground floor retail activities	<p>Section 2.6, page 19</p> <p>Ground floor retail activities are to be in specific areas shown on a "Ground Floor Retail Frontage Plan."</p> <p>Section 3.2.1, page 29</p> <p>The CDP Vision Document includes an objective to provide for a comprehensive retail area 'such as the "Village Main Street."' ¹</p>	<p>This Ground Floor Retail Frontage Plan does not appear to be included in the current proposed CPD. However, the reference to retail in an area 'such as the "Village Main Street."' suggests that the intention is to focus ground floor retail on the Village Main Street and to restrict this activity in other parts of the Village.</p> <p>We consider that this would be a substantive change from the current provisions in the District Plan. We wish to engage in a discussion about the current proposal for the Ground Floor Retail Frontage Plan and the possibility of this applying to our site.</p>
Smaller scale buildings	<p>Section 3.1, page 27</p> <p>The description of design for the Mixed-Use Precinct includes a statement that the design of buildings will be of a form "avoiding monotonous, large built form" and "will be encouraged to be of a small scale."²</p>	<p>This suggests that an outcome of the CDP could be to encourage smaller scale building. However, the proposed CDP gives little guidance as to what is meant by 'smaller scale'.</p> <p>We consider that this would be a substantive change from the current provisions in the District Plan. We wish to engage in a discussion about the meaning of small-scale buildings and whether this is an appropriate restriction for our site.</p>
Jack's Point Village Design Guidelines	<p>It appears from the CDP documentation, that the intention is for the Jack's Point Village Design Guidelines to apply to all land within the CDP including our site and for the Jack's Point Village</p>	<p>We consider that this would be a substantive change from the current situation for our site. We wish to understand whether it is intended for the JPDRB</p>

¹ Comprehensive Development Plan, Vision document March 2021 at Section 3.1, page 27.

² Comprehensive Development Plan, Vision document March 2021 at Section 3.2.1, page 29.

	Design Review Board to be required to sign off all development within the CDP.	process to apply to our site or whether clarification is simply required in the draft CDP that it does not.
Scale of commercial floor area	PDP Rule 41.5.2.1 The maximum net floor area for any single commercial activity (as defined in chapter 2) shall be 200m ² .	In its report on the PDP, the Council's hearings panel identified that this restriction had had no real assessment in terms of its appropriateness. We suggest that the section 293 process provides the ideal avenue to reconsider whether this restriction is necessary and/or set at the correct floor area. We wish to discuss this point with you

Appendix 9: Website Questionnaire

CDP / Feedback

Name

Email

1. Where do you live:

- Jack's Point
- Hanley Farm
- Homestead Bay
- Other

2. Do you:

- Live in your own home
- Live in a rental property or boarding
- Live with friends/family
- Own a property here but do not live here all the time
- Or are you a visitor to the area

Spatial Layout

3. Design Rationale

Two key design consideration informing the Comprehensive Development Plan has been to locate land use activities where buildings can be successfully integrated into the Villages natural landscape setting, and their connectivity to a network of pedestrian and cycle trails, as opposed just vehicular roads. The spatial planning of the Village now provides for this network within and around a stronger framework and increased area of green and blue open space. The overall extent and density of buildings is now less than what is currently approved and land use activities restricted to specific areas within this expanded network of protected open space.

Do you support this approach to the integration of buildings and open space? If not, what would you do differently?

- Yes
- No

If you answered no, what would you do differently?

.....

.....

.....

.....

.....

4. Additional Design Elements

The CDP will set the spatial layout of the Village and its key design elements, such as land use precinct areas, building height and density, areas of green and blue open space, pedestrian and cycle networks and hierarchy of roads, as a special provision within the District Plan. Separate to these items within the CDP, Design Guidelines will manage things such as individual building design, materiality, and landscaping much like what exists today for the Residential Neighbourhoods.

Are there any further design elements you consider necessary to include with the CDP?

.....

.....

.....

Accessibility

5. Village Accessibility

Provision of pedestrian and cycle connections has been the key consideration in the development of the Village movement networks (pedestrian, cycle, vehicle). Thinking about these transport types, and their connections to and within the Village, are there any changes or additions you would make?

.....

.....

.....

6. Public Transport

Has the plan made sufficient provision for public and/or alternative forms of transport?

- Yes
- No

If not, what would you change?

.....

.....

.....

Open Space and Community Spaces

Activities

7. Expanding Lake Tewa

The proposal is to expand Lake Tewa, as part of the blue network to increase amenity and water based recreation opportunities. Do you support the expansion of the lake and what would like to see it used for in future?

- Yes
- No

Comment on Expanding Lake Tewa
If you answered no, how would you use the lake?

8. Native Beech Planting

A community owned native beech forest is proposed as a backdrop setting to the Village along its western edge, as well as providing additional recreational, ecological and amenity values.

- Yes
- No

If not, what would you like to see occur within this area of protected open space.

9. Dedicated Activity Spaces

The Plans propose to create dedicated areas for a Village Square, a Lakeside Common, a waterfront park, beach park and Village green / harbour. How would you like to use these spaces? What would you change?

10. Community Activities and Services

What type of community activities and services would you want to see made available within the Village?

11. Commercial and Retail Services

What type of commercial and retail services would you want to see made available within the Village?

12. Activity Limitations

What activities do you not want to see established in the Village?

13. Food and Beverages Services

Do you support the inclusion of premises for the sale and consumptions of food and beverages in the Village?

- Yes
- No

14. Precincts and Activities

The CDP proposes precincts in order to best manage the location of activities within the Village. What would you change or add?

15. Access to Retail

Retailing is provided for at ground floor level within Precincts M-1 to M-7, and VA-9 – 10 in order to create the Village's main street. Mixed Use precinct M-9 has been chosen to locate a small general store / supermarket. Is that sufficient, too big, too small? What would you change?

Scale of Buildings and Activities

The scale of buildings is controlled through the standards of the District Plan, with the design of future buildings controlled through a combination of the District Plan rules and the Jacks Point Village Design Guidelines administered by the DRB.

16. Building Height

Building height within the current Village rules is restricted to 12m. Heights will be encouraged to be varied and consider shade / privacy impacts on neighbouring areas through the Village Design Guidelines, managed by the DRB. Is that appropriate?

- Yes
- No

If not appropriate, why not?

Responsibilities

17. Balance of Responsibilities

The proposal is for the Council, through the District Plan, to administer the CDP and related rules when activities are proposed in Resource Consents, with the design guidelines for individual buildings and landscaping to be administered by the Village Design Review Board. Is the balance of responsibilities between the District Plan and JPROA right?

- Yes
- No

If not, what would you change?

Anything else

18. Additional Comments

Do you have any other comments or issues that you wish to raise?

Thank you

Appendix 10: Landscape Report



Memorandum

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Wellington
PO Box 11340, 6142
+64 4 385 9315 | <input type="checkbox"/> Auckland
PO Box 91250, 1142
+64 9 358 2526 | <input type="checkbox"/> Hamilton
PO Box 1094, 3240
+64 7 960 0006 | <input type="checkbox"/> Tauranga
PO Box 13373, 3141
+64 7 571 5511 |
| | <input type="checkbox"/> Christchurch
PO Box 110, 8140
+64 3 366 8891 | <input checked="" type="checkbox"/> Queenstown
Level 1
72 Shotover Street
PO Box 1028, 9348
+64 3 441 1670 | <input type="checkbox"/> Dunedin
PO Box 657, 9054
+64 3 470 0460 |

Attention: John Darby and Todd Graham

Company: Darby Partners Ltd

Date: 27/05/2021

From: Yvonne Pfluger, Associate Partner, Landscape Planner

Message Ref: Assessment of Landscape and Visual Effects for DPR

Project No: C16069 Jacks Point Village

Jacks Point Village- District Plan Review (Chapter 41)

Assessment of Landscape and Visual Effects

Background

Boffa Miskell Limited (BML) has been engaged to prepare a short assessment report on the anticipated landscape and visual amenity effects associated with the proposed design changes to the Jacks Point Village layout as part of the Queenstown Lake District Plan Review (DPR). The layout changes would apply to the upcoming stages of Jacks Point Village, which include mixed use, residential and visitor accommodation, community and open space areas within the Village centre.

It is proposed to expand the Village Activity Area to incorporate the driving range, currently located with the Education Activity Area, and part of the land currently used for golf holes 17 and 18 along the western shore of Lake Tewa within the current Open Space Golf Activity Area (but not extending into the Tablelands Landscape Protection Area). The proposed village design would encompass less than the total built area approved in the site coverage standards for the Village and Education Activity Areas in the decision version of the Proposed District Plan (PDP), but it would be spatially more disbursed, allowing for more open space within the village. In order to achieve this, the Village Activity Area would be expanded, and precincts identified to determine the location and mixture of activities within identified areas. Four visitor accommodation (VA) precincts (noted as VA-4, 5, 6 and 7 on Figure 1) would be located outside of the currently approved areas of the Village (V) and Education (E) Activity Areas.

Within this expanded Village it is proposed to establish a Comprehensive Development Plan (CDP) for inclusion into the District Plan within Chapter 41, and that would complete the requirements of Rule 41.4.2.1. A CDP is a planning mechanism used to establish detail within the District Plan on key spatial planning outcomes. It establishes the high level but important elements to achieving good urban design and required to integrate future development that will occur within the Village and might not necessarily occur if managed individually. Such elements include pedestrian and cycle connections, the provision of open space, the road network and passenger transport routes. The CDP sits above the individual design of buildings and activities, that would still be required to be considered by the JPROA against design guidelines specific to the Village. In the graphic attachment (attached), Figure 1 shows the proposed masterplan that overlays the current V and E Areas over the proposed CDP to illustrate differences.

The CDP is used to identify the location of activities through identified precincts and also establish outcomes for buildings, as illustrated through several diagrams. The five Precincts are residential, visitor accommodation, mixed use, community and open space.

The CDP proposal would facilitate a scale of building development less than what is currently included in the decisions version of the proposed district plan (PDP). By locating the VA precincts on the western side of Lake Tewa, and changing the education use (currently the practice range and no longer required for education use due to the school being located in Hanley's Farm) to village uses, this allows more open space than what would otherwise happen under the current split Village and Education Activity Area arrangement.

It is understood that the purpose of this report is to inform parties about the potential landscape character and visual amenity effects of the proposed Village CDP and related changes to JP Village. For formal court process more detailed documentation can be provided. The following two design changes are assessed in this landscape and visual assessment:

1. The proposed increase in size of the Village (V) Activity Area by reclassifying the Education (E) and Open Space Golf (OSG) Activity areas in the Structure Plan into Village; and
2. The implications of the layout of the precincts within the expanded V(JP) Activity Area as proposed under the CDP, including their visual relationship to the surrounding landscape and the provision of open space within the Village. This focuses in particular on the differences in appearance of the proposed precincts in the CPD for the former E Activity Area and the location of four VA precincts in the former OSG activity area on the western side of Lake Tewa. This would be assessed in the context of the extension to Lake Tewa to the south.

In order to undertake this assessment a specific site visit was undertaken on 6th May 2021, in addition to multiple other site visits to Jacks Point that have been undertaken for other aspects of the DPR over the past years. The most recent site visit included a walk over of the proposed Village CPD areas, as well as an assessment of the surrounding golf open space and residential area in terms of outlook and urban/rural landscape character. The visibility analysis of the proposal is based on the findings from the on-site investigations, which included a visibility assessment from State Highway 6 and the Remarkables Ski Field access road at an earlier date.

A graphic attachment accompanies this report. It contains photographs of the site and surrounding area to illustrate the findings of the assessment outlined below.

Location and Proposal

The proposed extension to the Village Activity Area is located to the:

- south within the golf course practice range, south east of the Jacks Point Club House, at the intersection of McAdam Drive and Maori Jack Road; and
- west on land currently used for golf holes 1, 17 and 18 along the western shore of Lake Tewa within the current Open Space Golf (OSG) Activity Area.

This central location within the basin that contains the Jacks Point village adjacent to Lake Tewa is low-lying and relatively flat. The area is surrounded by landform with a *roche moutonee* to the west and the slopes of a fan, which contain the Jacks Point residential areas to the east.

Currently the oval-shaped golf practice range is enclosed by a wide mound, approximately 3m high. A shallow swale drain extends through the site and vegetation is limited to turf grass. There are no existing buildings located within the practice area and the closest existing building is the Club House at a distance of approx 150m to the northwest.

The OSG Activity Area extends across the elevated tablelands area within Jacks Point to the west of Lake Tewa. The shoreline and area immediately adjacent to Lake Tewa is relatively flat, while the tablelands are defined through a steeply rising escarpment. The existing golf course extends mostly across the higher-lying undulating terrain, with only two holes (holes 17 and 18) located near Lake Tewa. A small pond that is

situated south of to the golf practice area/ driving range would be connected with Lake Tewa through excavation of the low-lying land between.

Within the Village Activity Area four precincts with different urban uses would occur as shown in the CPD. Those precincts include:

- residential uses in the northern and southern parts,
- mixed-use in the central and eastern parts,
- community facilities opposite the existing playground, and
- visitor accommodation in various locations around existing (and expanded) Lake Tewa.

The main changes to the village layout consist of an increased density in the southern (former E Activity Area) and an expansion into the western (former OSG activity area) parts of the proposed Village Activity Area. The expansion of the village onto the western shore of Lake Tewa would encompass four visitor accommodation precincts (two opposite the clubhouse and two near the southern end of the lake). The golf holes on the western lake shore would be relocated and public access enabled on the western side of the lake, providing for local recreation opportunities around the lake that are currently precluded by the presence of golf holes on the western side of the lake.

The combined area of allowed building across the existing V(JP) (18ha) and E Activity Areas (7ha) is currently 14.35ha under the PDP (Decisions Version). The overall site coverage for the V(JP) Activity Area in the PDP (Decisions Version) is 60%, but through the proposed extension of the V Activity Area this would be reduced, since the overall allowed building area (now capped to 12ha) would be redistributed across the new expanded Village Activity Area. This means that more open space would be available throughout the entire village area. The former E Activity Area was intended to accommodate a school in this area which has now been moved into Hanley's Farm. For the E Activity Area a site coverage of 45% was anticipated under the PDP (Decisions Version) which would be very similar to what would be enabled through the proposed precincts (total E area is 7ha with 3.15ha of buildings in the PDP (Decisions Version) and approx 5ha of precinct area with 60% coverage in the CDP equalling approximately 3ha). For all precinct areas maximum building areas and design standards are set through the CDP. The maximum building height throughout the whole Village Activity Area would be 12m.

Assessment of Landscape and Visual Effects

Method (see Appendix 2 for detailed assessment methodology)

The effects covered in this assessment, include those that can occur in relation to physical features, viewing audiences and visual amenity and/or on the site's contribution to the existing landscape character and amenity values, as follows:

- Visual effects relate to the changes that arise in the composition of available views as a result of changes to the landscape, to people's responses to the changes, and to the overall effects with respect to visual amenity.
- Landscape character and amenity effects derive from changes in the physical landscape, which may give rise to changes in its character and how this is experienced. This may in turn affect the perceived value ascribed to the landscape.

Jacks Point Village lies near the margins of Lake Tewa, which is a man-made lake. The proposed extension to the lake to the south will also be a man-made excavation within a currently highly modified pasture/ golf course environment. The key reasons for the creation of Lake Tewa and its extension are provision of stormwater attenuation and amenity for the urban environment of Jacks Point Village. Since the waterways are artificially constructed natural character effects are not considered to be relevant under this proposal.

Landscape and visual impacts result from natural or induced change in the components, character or quality of a landscape. Usually these are the result of landform or vegetation modification or the introduction of new structures, activities or facilities into the landscape. The process of change itself, that is the construction process and/or activities associated with the development, also carry with them their own visual impacts as distinct from those generated by a completed development.

Change in a landscape does not, of itself, necessarily constitute an adverse landscape or visual effect. Landscape is dynamic and is constantly changing over time in both subtle and more dramatic transformational ways, these changes are both natural and human induced. What is important in managing landscape change is that adverse effects are avoided or sufficiently mitigated to ameliorate the effects of the change in land use. The aim is to provide a high amenity environment through appropriate design outcomes, including planting that can provide an adequate substitution for the currently experienced amenity.

Visibility and Visual Effects

In order to identify the potentially affected viewing audience, who may gain views to the proposed changes to the village layout, a visibility analysis was carried out on site. The photographic record in the graphic attachment illustrates the findings from the on-site investigations.

The visual catchment of the site is largely contained within the Jacks Point development area. The development is located within a natural basin, framed by the prominent *roche moutonee* on the western side (474masl), which connects with a high-lying plateau (the Preserve area) to Peninsula Hill in the north. This landform blocks all low-lying views to the proposed site from the west, including all views from the lake. On the eastern side the existing residential areas of Jacks Point extend up the slopes towards State Highway 6, which lies on a fan approximately 50m above the low-lying parts of Jacks Point where the proposed site is situated at around 350masl.

Viewing catchment and audience

The Jacks Point Village area is located within a low-lying valley contained by landform, referred to as Central Valley character area in the Coneburn Resource Study (Darby Partners, 2002 with updates in 2012 which guided the design of the overall Jacks Point development over the year. The visibility analysis included in the Coneburn Resource Study (see Appendix 1) shows clearly that due to this effective land form containment, long distance views to the site are very restricted. Comprehensive long-distance views may only be gained in the form of glimpses from the elevated viewpoints to the east, such as the slopes of the Remarkables Mountain Range. From State Highway 6 views are obscured by intervening landform due to the elevation change between the centre of Jacks Point Village and the highway. On the southern side of Jacks Point, State Highway 6 crosses a stream draining the Remarkables slopes, where oblique views towards the higher-lying parts of the existing golf course are possible. Along a 400m long stretch of highway, north of the Homestead Bay turn-off, some long-distance glimpses to the roofs and upper storeys of the proposed buildings within the former E Activity Area may be possible. Due to intervening vegetation and land form undulation in these views at a distance of over 1.2km the difference compared to the school development enabled under the E Activity Area would not be detectable for viewers when driving along the highway.

This means that the relevant views of the proposal are restricted to the existing and future residential and commercial areas of Jacks Point. As part of the site investigations the existing areas were visited and a range of photos taken within the residential areas (see photos VP 1- 4), the golf course (see photos VP 5- 6) and a variety of viewpoints near the golf practice area and clubhouse (see photos VP 7- 11). The assessment below covers the visual, landscape character and amenity effects as experienced by the following groups:

- public walking tracks and other public places within Jacks Point
- owners and occupiers of private land within and outside the JPRZ.

Visual effects associated with change from E Activity Area to V precincts

In summary, the E Activity Area is mostly visible from the west facing edges of elevated escarpments to the south of Maori Jack Road, where no immediately adjacent buildings block views to the west (eg Jack Point Rise, see photos VP 1 and 2) . Currently, views are also possible from slightly elevated residences close to the E Activity Area (eg lower parts of McAdam Drive and Jacks Point Rise, as shown on photo 3), where no existing buildings are currently visible in the foreground. However, there will be intervening buildings within residential development (currently partially developed, eg on the lower terrace along Soudley Court) and the Village Activity Area which forms part of the existing PDP (Decision Version) zoning along the eastern side of Maori Jack Road.

The views from other parts of the escarpments, already contain existing development in the foreground and the change in outlook through the change from educational facilities (as anticipated in the E Activity Area) to village precincts would be minimal. While views would be possible from the southern most parts of the existing residences, the visibility of buildings in this area would be very low due to the oblique angle and intervening buildings and vegetation.

While the buildings in the E Activity Area would only be up 10m high, the change to 12m is would be difficult to detect from the viewpoints in the residential areas described above. Generally, buildings associated with schools or other educational institutions are relatively large in size due to operational requirements. This means that it would be likely that educational facilities would appear bulkier than the mixed- use, residential and visitor accommodation buildings anticipated under CDP in this area. Overall, it is considered that the changes in types of buildings from educational facilities to other uses would not lead to adverse visual effects, since the site coverage would remain the same.

Visual effects associated with four Visitor Accommodation (VA) precinct areas on western side of Lake Tewa

The four VA precincts on the western side of Lake Tewa would be located near the southern end of the proposed extension of Lake Tewa (two VA precincts) and opposite the existing clubhouse (two VA precincts). Limited vehicle access would be provided to the VA pods on western side of lake with pedestrian and electric cart access only. The proposal includes the provision of walkways that would extend around the lake to enable round-trips on foot or bike around Lake Tewa.

From low-lying viewpoints along Maori Jack Road (see photo VP 4) or Jacks Point Rise (see photo VP 3), the proposal will be partially screened from views through the Village Activity Area to the eastern side of Maori Jack Road and existing trees along Jacks Point Rise. While views to the dwellings would only be partially screened, the distance and intervening zoned development would lead to a degree of visual and physical separation. The differences in built development would not be readily perceptible in the E Activity Area. The location of the proposal adjacent to the proposed mixed use village precinct to the north and east means that the village extension would be seen in the context of these future buildings, or within the context of ongoing during construction in this area. Therefore, the visual effects from the lower-lying viewpoints within the residential areas of Jacks Point would be low.

From more elevated vantage points on the southern residential areas, such as higher (see photo VP 1) and mid (see photo VP 2) elevations on Jacks Point Rise the village extension into the current E Activity Area would be most visible, as views extend over the existing development. From these viewpoints it may be possible to distinguish differences in layout between larger-scale educational buildings and more diverse buildings in the village precincts proposed in the area. The village precincts would be more disbursed with open space through out the area, rather than contained in large sports playing fields. The visual effect would, however, be low and neutral, since the overall area would be comparable.

From a westerly direction (from the Tablelands area) views would be largely curtailed by the steep escarpment to the west of Lake Tewa. While the village extension into the E Activity Area would be partially visible from a variety of viewpoints through out the golf course and on Lodge Road (see photo VP 5), the effects are considered to be very low and neutral, since the village extension would be seen in the context of the remainder of the village area.

The location of the visitor accommodation pods on the western side of Lake Tewa would be partially obscured by the village area in the foreground when viewed from the east. Similar to the proposal for the E Activity Area assessed above, the buildings west of Lake Tewa would more easily be detectable from higher-lying viewpoints, while the buildings in the foreground would partially block views from lower-lying viewpoints. Once the Village Activity Area is established, the views to Lake Tewa will be largely obscured by buildings (see eg photos VP 1 and 2) and it is unlikely that it would be obvious from the long-distance viewpoints in the residential area that the VA buildings are located to the west of the lake.

A change in views would be predominantly perceptible from viewpoints in the immediate vicinity of Lake Tewa, such as at the clubhouse (see photos VP9 and 10) or the southern end of Maori Jack Road (see photo VP 6). From the golf course on the plateau east of Preserve Drive the intervening escarpment would block most views to the visitor accommodation pods. In order to ensure that any visual effects can be assessed for these VA precincts a RD activity status is proposed¹. The proposed change to the Jacks Point Village will ensure that the important contribution of open space areas to the amenity and outlook of Jacks Point residential areas is maintained².

In summary, the proposal has a limited visual catchment being largely contained by sloping landform confining the Jacks Point Village area to the east and west. The inward sloping basin is visually contained and views to the site from residences in the east would be gained in the context of the existing village including numerous dwellings of a similar density/ site coverage as those proposed. In terms of visual effects from private viewpoints the various areas within the existing Jacks Point residential neighbourhoods will experience low to very low levels of visual effects compared to the development enabled under the current zoning. The effects would to some extent depend on their elevation, orientation relative to the proposal and their setback from any terrain variation in the form of escarpments that define the development area.

It is concluded that the visibility of the proposal will be confined to few residences along the west-facing edges of escarpments, where no adjacent buildings block the view out. In those selected views, generally existing buildings on lower terrain, including the V Activity Area, would form part of the foreground view and the change from E to V Activity Area on the golf practice range would be barely detectable and not perceived as an adverse effect. The VA pods will be partially obscured from these areas by the foreground village development and the rising landform of the *roche moutonee* would form a backdrop to the buildings and would remain the focal point of the outlook together with Bayonet/ Cecil Peak in the distance.

Landscape Character and Amenity Effects

The proposal would extend the heart of the future Jacks Point Village, with the mixed use and visitor accommodation precincts to the west and south. In terms of landscape character effects, the change that the village area is currently undergoing with ongoing construction and the associated amenity for the properties to the east has been taken into account in the context of this potential future development. In this

¹ 41.4.2.2 Building within Visitor Accommodation Precincts (VA-4, VA- 5, VA-6 and VA-7) of the V(JP) Activity Area

Discretion is restricted to:

- a. the external appearance of buildings with respect to the effect on landscape character and to ensure that materials and colours are suitably recessive
- b. the recreation and amenity values created by the expansion of Lake Tewa
- c. associated earthworks and landscaping
- d. Ensuring that the bulk and location of building is broken up within the Precinct to be responsive to the landform and will continue to enable views to the open space activity area including the escarpment to the immediate west from the residential activity areas to the east.
- e. Ensuring building does not detract from the landscape character of the adjacent tablelands landscape protection area.

² Policy 41.2.1.21 Recognise the important contribution that the open space areas that adjoin the residential and village areas make to the identity, character, amenity, and outlook of the Jacks Point Zone for residents and visitors.

regard it should be noted that there is no intention to screen views to the proposal, as it is considered that screening is not required in the context of the existing village and suburban character of the surrounding areas.

The proposed extension of the village precincts into the E Activity Area is compatible with the adjacent village development to the north and would be perceived as a natural extension from the existing and future residential development to provide a coherent urban form and roofscape when viewed from the existing residences with trees breaking up the built-form. The outlook and character will only change to a very low extent from surrounding viewpoints, as the proposal would form a small part of the outlook in the context of existing development and large adjacent landforms, which will continue to dominate the view. The site coverage and subsequent provision of open space within this area would remain the same.

The location of the four VA precincts to the west of Lake Tewa would change the character along the western side of the lake when viewed from the banks of the lake on its eastern side (eg from the clubhouse). In this respect it should be noted that this is a man-made environment, despite its high amenity. While some may consider that buildings on the western side of the lake would detract from the outlook and amenity that can be gained from the immediate surroundings of the lake, there would also be benefits provided through the provision of a trail network that connects around Lake Tewa and its proposed extension to the south for recreational use. As outlined above, the RD activity status for the VA pods allows for the assessment of their effects on the amenity around Lake Tewa and to ensure that the built form is broken up to respond to the underlying landform. From viewpoints beyond the lake shore in the village area (such as the Jacks Point residential areas) the amenity and landscape character effects of the four VA pods is considered very low, since the buildings would blend in with the village development in the foreground.

Jacks Point is an extensively modified environment with a residential development of high-quality design standards. The proposal to extend the village further out, while providing more open space between the village precincts has been designed to be enhance the amenity. As part of the assessment, it has to be taken into account that Jacks Point is undergoing a transformational change through the establishment of the village core, which this proposed extension relates to. In the context of the existing village and future construction of the mixed use/ visitor accommodation areas, the proposal would lead to very low effects in terms of landscape character and amenity and the nature of effect would, in my view, be neutral rather than adverse.

Conclusion

This assessment of landscape and visual effects covers the proposed changes of the E Activity Area to village precincts in the golf practice area to the south east of the Club House. In addition, it assesses the effects of four VA precincts proposed on the western shore of Lake Tewa, including along the proposed extension of the lake to the south.

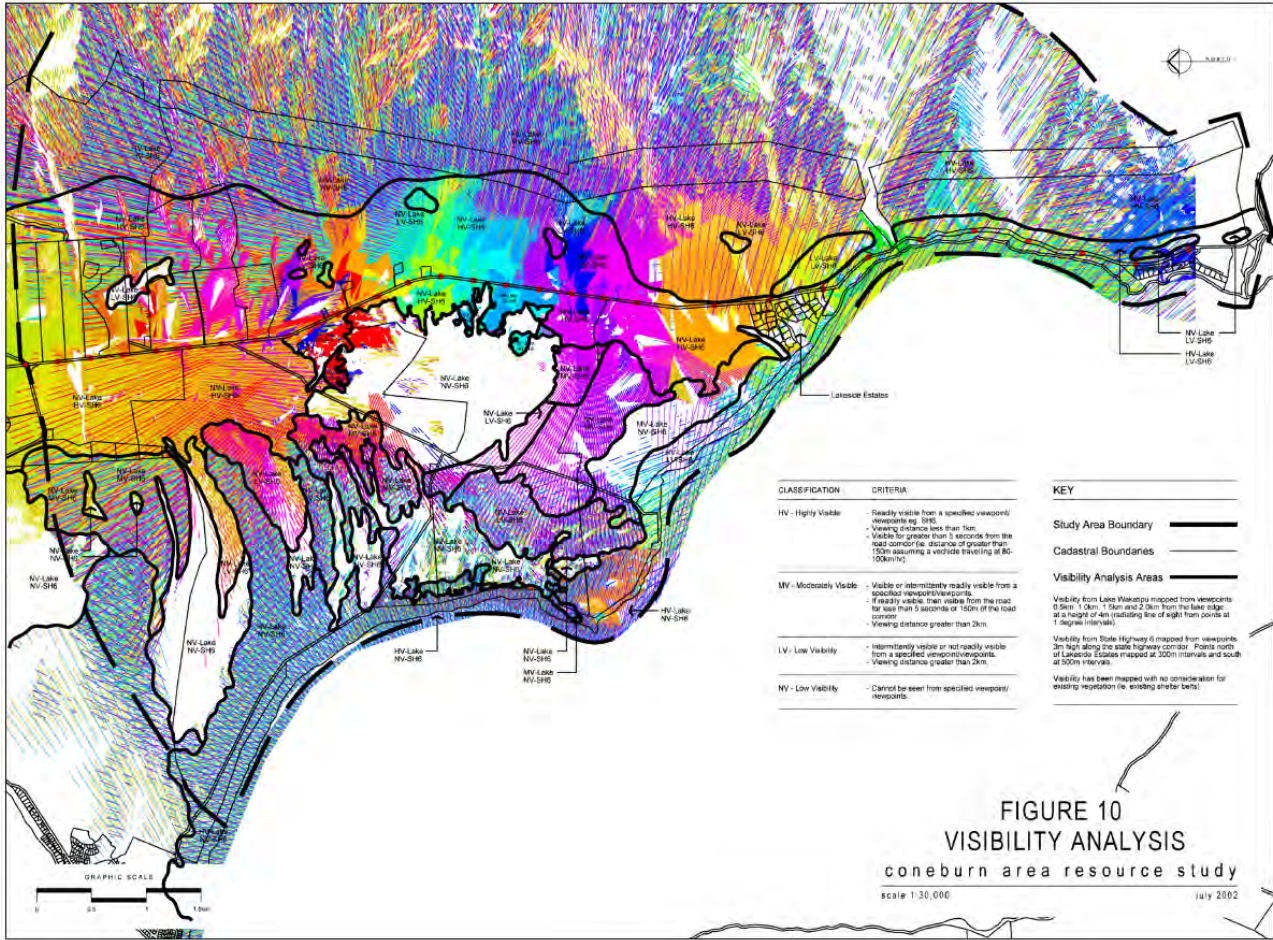
The location of the proposal would be perceived as a logical extension of the existing/ future village, located on a site where visual effects can be internalised within the Jacks Point Zone. The design of the village layout within the current E Activity Area is in keeping with the village character and through the expansion of the area an increase of open space is enabled throughout. It should be noted that the overall built area is slightly reduced from 14.35ha to 12ha and the lower density means that the village would provide a higher amenity. It is considered that the change in built-up area would be barely detectable from most viewpoints within the Jacks Point residential areas. The effects that may be experienced in views from the eastern shore of Lake Tewa through the introduction of the four VA pods on the western side of the lake (and its extension) can be assessed through a RD consent process.

The visual and landscape character/ amenity changes to be experienced from within the Jacks Point "neighbourhoods" and village are considered to be very low and not adverse in the context of the future village. As described above, the location of the VA precincts on the western shore of Lake Tewa and the change from E to V Activity Area will have low visual effects within selected parts of Jacks Point Zone, which

are unlikely to be perceived as adverse by residents, given that the proposed design is in keeping with the existing development and located in the backdrop of the village.

It is concluded that the proposed change would not lead to adverse effects in terms of landscape character and amenity, as experienced from the surrounding properties and open spaces in the context of the village. The provision of additional trail connections and more open space throughout the village would outweigh the low effects associated with the expansion of the village area to the south and west.

Appendix 1 – Coneburn Resource Study- Visibility Analysis



Appendix 2 – Assessment Methodology

Appendix 1: Landscape and Visual Effects Assessment Methodology

11 February 2019

Introduction

The Boffa Miskell Ltd landscape and visual effects assessment (LVA) process provides a framework for assessing and identifying the nature and level of likely effects that may result from a proposed development. Such effects can occur in relation to changes to physical elements, the existing character of the landscape and the experience of it. In addition, the landscape assessment method may include an iterative design development processes, which includes stakeholder involvement. The outcome of any assessment approach should seek to avoid, remedy or mitigate adverse effects (see Figure 1). A separate assessment is required to assess changes in natural character in coastal areas and other waterbodies.

This outline of the landscape and visual effects assessment methodology has been undertaken with reference to the Quality Planning Landscape Guidance Note¹ and its signposts to examples of best practice, which include the UK guidelines for landscape and visual impact assessment² and the New Zealand Landscape Institute Guidelines for Landscape Assessment³.

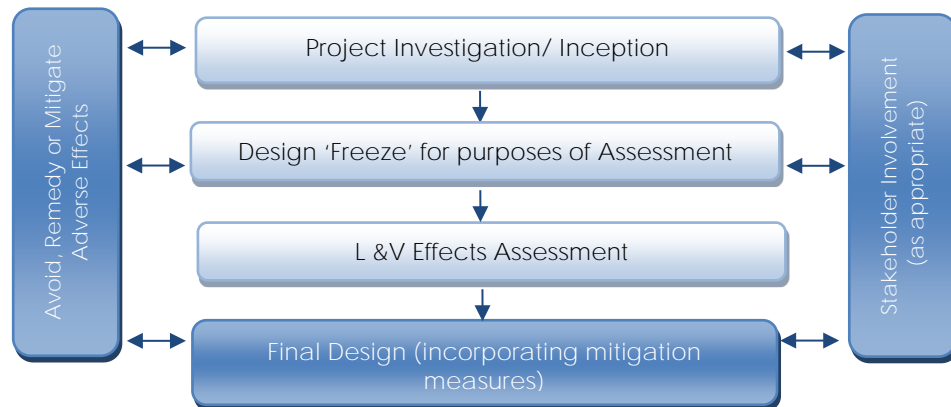


Figure 1: Design feedback loop

When undertaking a LVA, it is important that a structured and consistent approach is used to ensure that findings are clear and objective. Judgement should be based on skills and experience and be supported by explicit evidence and reasoned argument.

While landscape and visual effects assessments are closely related, they form separate procedures. The assessment of the potential effect on the landscape forms the first step in this process and is carried out as an effect on landscape elements, features and on landscape character. The assessment of visual effects considers how changes to the physical landscape affect the viewing audience. The types of effects can be summarised as follows:

Landscape effects: *Change in the physical landscape, which may affect its characteristics or qualities.*

Visual effects: *Change to views which may affect the visual amenity experienced by people.*

The policy context, existing landscape resource and locations from which a development or change is visible, all inform the 'baseline' for landscape and visual effects assessments. To assess effects, the landscape must first be described, including an understanding of the key landscape characteristics and qualities. This process, known as landscape characterisation, is the basic tool for understanding landscape character and may involve subdividing the landscape into character areas or types. The condition of the landscape (i.e. the state of an individual area of landscape or landscape feature) should also be described together with, a judgement made on the value or importance of the potentially affected landscape.

¹ <http://www.qualityplanning.org.nz/index.php/planning-tools/land/landscape>

² Landscape Institute and Institute of Environmental Management and Assessment (2013) Guidelines for Landscape and Visual Impact Assessment, 3rd Edition (GLVIA3)

³ Best Practice Note Landscape Assessment and Sustainable Management 10.1, NZILA
Boffa Miskell Landscape & Visual Methodology – February 2019

Landscape Effects

Assessing landscape effects requires an understanding of the landscape resource and the magnitude of change which results from a proposed activity to determine the overall level of landscape effects.

Landscape Resource

Assessing the sensitivity of the landscape resource considers the key characteristics and qualities. This involves an understanding of both the ability of an area of landscape to absorb change and the value of the landscape.

Ability of an area to absorb change

This will vary upon the following factors:

- Physical elements such as topography / hydrology / soils / vegetation;
- Existing land use;
- The pattern and scale of the landscape;
- Visual enclosure / openness of views and distribution of the viewing audience;
- The zoning of the land and its associated anticipated level of development;
- The scope for mitigation, appropriate to the existing landscape.

The ability of an area of landscape to absorb change takes account of both the attributes of the receiving environment and the characteristics of the proposed development. It considers the ability of a specific type of change occurring without generating adverse effects and/or achievement of landscape planning policies and strategies.

The value of the Landscape

Landscape value derives from the importance that people and communities, including tangata whenua, attach to particular landscapes and landscape attributes. This may include the classification of Outstanding Natural Feature or Landscape (ONFL) (RMA s.6(b)) based on important biophysical, sensory/aesthetic and associative landscape attributes, which have potential to be affected by a proposed development. A landscape can have value even if it is not recognised as being an ONFL.

Magnitude of Landscape Change

The magnitude of landscape change judges the amount of change that is likely to occur to areas of landscape, landscape features, or key landscape attributes. In undertaking this assessment, it is important that the size or scale of the change is considered within the geographical extent of the area influenced and the duration of change, including whether the change is reversible. In some situations, the loss /change or enhancement to existing landscape elements such as vegetation or earthworks should also be quantified.

When assessing the level of landscape effects, it is important to be clear about what factors have been considered when making professional judgements. This can include consideration of any benefits which result from a proposed development. Table 1 below helps to explain this process. The tabulating of effects is only intended to inform overall judgements.

Contributing Factors		Higher	Lower
Landscape (sensitivity)	Ability to absorb change	The landscape context has limited existing landscape detractors which make it highly vulnerable to the type of change resulting from the proposed development.	The landscape context has many detractors and can easily accommodate the proposed development without undue consequences to landscape character.
	The value of the landscape	The landscape includes important biophysical, sensory and shared and recognised attributes. The landscape requires protection as a matter of national importance (ONF/L).	The landscape lacks any important biophysical, sensory or shared and recognised attributes. The landscape is of low or local importance.
Magnitude of Change	Size or scale	Total loss or addition of key features or elements. Major changes in the key characteristics of the landscape, including significant aesthetic or perceptual elements.	The majority of key features or elements are retained. Key characteristics of the landscape remain intact with limited aesthetic or perceptual change apparent.
	Geographical extent	Wider landscape scale.	Site scale, immediate setting.
	Duration and reversibility	Permanent. Long term (over 10 years).	Reversible. Short Term (0-5 years).

Table 1: Determining the level of landscape effects

Visual Effects

To assess the visual effects of a proposed development on a landscape, a visual baseline must first be defined. The visual 'baseline' forms a technical exercise which identifies the area where the development may be visible, the potential viewing audience, and the key representative public viewpoints from which visual effects are assessed.

The Sensitivity of the viewing audience

The sensitivity of the viewing audience is assessed in terms of assessing the likely response of the viewing audience to change and understanding the value attached to views.

Likely response of the viewing audience to change

Appraising the likely response of the viewing audience to change is determined by assessing the occupation or activity of people experiencing the view at particular locations and the extent to which their interest or activity may be focussed on views of the surrounding landscape. This relies on a landscape architect's judgement in respect of visual amenity and the reaction of people who may be affected by a proposal. This should also recognise that people more susceptible to change generally include: residents at home, people engaged in outdoor recreation whose attention or interest is likely to be focussed on the landscape and on particular views; visitors to heritage assets or other important visitor attractions; and communities where views contribute to the wider landscape setting.

Value attached to views

The value or importance attached to particular views may be determined with respect to its popularity or numbers of people affected or reference to planning instruments such as viewshafts or view corridors. Important viewpoints are also likely to appear in guide books or tourist maps and may include facilities provided for its enjoyment. There may also be references to this in literature or art, which also acknowledge a level of recognition and importance.

Magnitude of Visual Change

The assessment of visual effects also considers the potential magnitude of change which will result from views of a proposed development. This takes account of the size or scale of the effect, the geographical extent of views and the duration of visual change, which may distinguish between temporary (often associated with construction) and permanent effects where relevant. Preparation of any simulations of visual change to assist this process should be guided by best practice as identified by the NZILA⁴.

When determining the overall level of visual effect, the nature of the viewing audience is considered together with the magnitude of change resulting from the proposed development. Table 2 has been prepared to help guide this process:

Contributing Factors		Higher	Lower	Examples
The Viewing Audience (sensitivity)	Ability to absorb change	Views from dwellings and recreation areas where attention is typically focussed on the landscape.	Views from places of employment and other places where the focus is typically incidental to its landscape context. Views from transport corridors.	Dwellings, places of work, transport corridors, public tracks
	Value attached to views	Viewpoint is recognised by the community such as an important view shaft, identification on tourist maps or in art and literature. High visitor numbers.	Viewpoint is not typically recognised or valued by the community. Infrequent visitor numbers.	Acknowledged viewshafts, Lookouts
Magnitude of Change	Size or scale	Loss or addition of key features in the view. High degree of contrast with existing landscape elements (i.e. in terms of form scale, mass, line, height, colour and texture). Full view of the proposed development.	Most key features of views retained. Low degree of contrast with existing landscape elements (i.e. in terms of form scale, mass, line, height, colour and texture). Glimpse / no view of the proposed development.	- Higher contrast/ Lower contrast. - Open views, Partial views, Glimpse views (or filtered); No views (or obscured)
	Geographical extent	Front on views. Near distance views; Change visible across a wide area.	Oblique views. Long distance views. Small portion of change visible.	- Front or Oblique views. - Near distant, Middle distant and Long distant views

⁴ Best Practice Guide: Visual Simulations BPG 10.2, NZILA

Contributing Factors		Higher	Lower	Examples
	Duration and reversibility	Permanent. Long term (over 15 years).	Transient / temporary. Short Term (0-5 years).	- Permanent (fixed), Transitory (moving)

Table 2: Determining the level of visual effects

Nature of Effects

In combination with assessing the level of effects, the landscape and visual effects assessment also considers the nature of effects in terms of whether this will be positive (beneficial) or negative (adverse) in the context within which it occurs. Neutral effects can also occur where landscape or visual change is benign.

It should also be noted that a change in a landscape does not, of itself, necessarily constitute an adverse landscape or visual effect. Landscape is dynamic and is constantly changing over time in both subtle and more dramatic transformational ways; these changes are both natural and human induced. What is important in managing landscape change is that adverse effects are avoided or sufficiently mitigated to ameliorate the effects of the change in land use. The aim is to provide a high amenity environment through appropriate design outcomes.

This assessment of the nature effects can be further guided by Table 3 set out below:

Nature of effect	Use and Definition
Adverse (negative):	The activity would be out of scale with the landscape or at odds with the local pattern and landform which results in a reduction in landscape and / or visual amenity values
Neutral (benign):	The activity would be consistent with (or blend in with) the scale, landform and pattern of the landscape maintaining existing landscape and / or visual amenity values
Beneficial (positive):	The activity would enhance the landscape and / or visual amenity through removal or restoration of existing degraded landscape activities and / or addition of positive elements or features

Table 3: Determining the Nature of Effects

Determining the Overall Level of Effects

The landscape and visual effects assessment concludes with an overall assessment of the likely level of landscape and visual effects. This step also takes account of the nature of effects and the effectiveness of any proposed mitigation. The process can be illustrated in Figure 2:



Figure 2: Assessment process

This step informs an overall judgement identifying what level of effects are likely to be generated as indicated in Table 4 below. This table which can be used to guide the level of landscape and visual effects uses an adapted seven-point scale derived from NZILA's Best Practice Note.

Effect Rating	Use and Definition
Very High:	Total loss of key elements / features / characteristics, i.e. amounts to a complete change of landscape character in views.
High:	Major modification or loss of most key elements / features / characteristics, i.e. little of the pre-development landscape character remains and a major change in views. <u>Concise Oxford English Dictionary Definition</u> <i>High: adjective- Great in amount, value, size, or intensity.</i>
Moderate- High:	Modifications of several key elements / features / characteristics of the baseline, i.e. the pre-development landscape character remains evident but materially changed and prominent in views.
Moderate:	Partial loss of or modification to key elements / features / characteristics of the baseline, i.e. new elements may be prominent in views but not necessarily uncharacteristic within the receiving landscape. <u>Concise Oxford English Dictionary Definition</u> <i>Moderate: adjective- average in amount, intensity, quality or degree</i>

Moderate - Low:	Minor loss of or modification to one or more key elements / features / characteristics, i.e. new elements are not prominent within views or uncharacteristic within the receiving landscape.
Low:	Little material loss of or modification to key elements / features / characteristics. i.e. modification or change is not uncharacteristic or prominent within views and absorbed within the receiving landscape. <u>Concise Oxford English Dictionary Definition</u> <u>Low: adjective- 1. Below average in amount, extent, or intensity.</u>
Very Low:	Negligible loss of or modification to key elements/ features/ characteristics of the baseline, i.e. approximating a 'no change' situation and a negligible change in views.

Table 4: Determining the overall level of landscape and visual effects

Determination of "minor"

Decision makers determining whether a resource consent application should be notified must also assess whether the effect on a person is less than minor⁵ or an adverse effect on the environment is no more than minor⁶. Likewise, when assessing a non-complying activity, consent can only be granted if the s104D 'gateway test' is satisfied. This test requires the decision maker to be assured that the adverse effects of the activity on the environment will be 'minor' or not be contrary to the objectives and policies of the relevant planning documents.

These assessments will generally involve a broader consideration of the effects of the activity, beyond the landscape and visual effects. Through this broader consideration, guidance may be sought on whether the likely effects on the landscape or effects on a person are considered in relation to 'minor'. It must also be stressed that more than minor effects on individual elements or viewpoints does not necessarily equate to more than minor effects on the wider landscape. In relation to this assessment, moderate-low level effects would generally equate to 'minor'.

The third row highlights the word 'significant' which has particular reference to the NZCPS and Policy 13 and Policy 15 and where on the effects-spectrum 'a significant' effect would be placed.

<u>Less than Minor</u>		<u>Minor</u>	<u>More than Minor</u>			
Very Low	Low	Moderate – Low	Moderate	Moderate-High	High	Very High
					Significant ⁷	

Table 5: Determining minor effects for notification determination and non-complying activities

⁵ RMA, Section 95E

⁶ RMA Section 95D

⁷ To be used only about Policy 13(1)(b) and Policy 15(b) of the New Zealand Coastal Policy Statement (NZCPS), where the test is 'to avoid significant adverse effects'.

Appendix 3 – Graphic Attachment

JACKS POINT VILLAGE DPR APPEAL

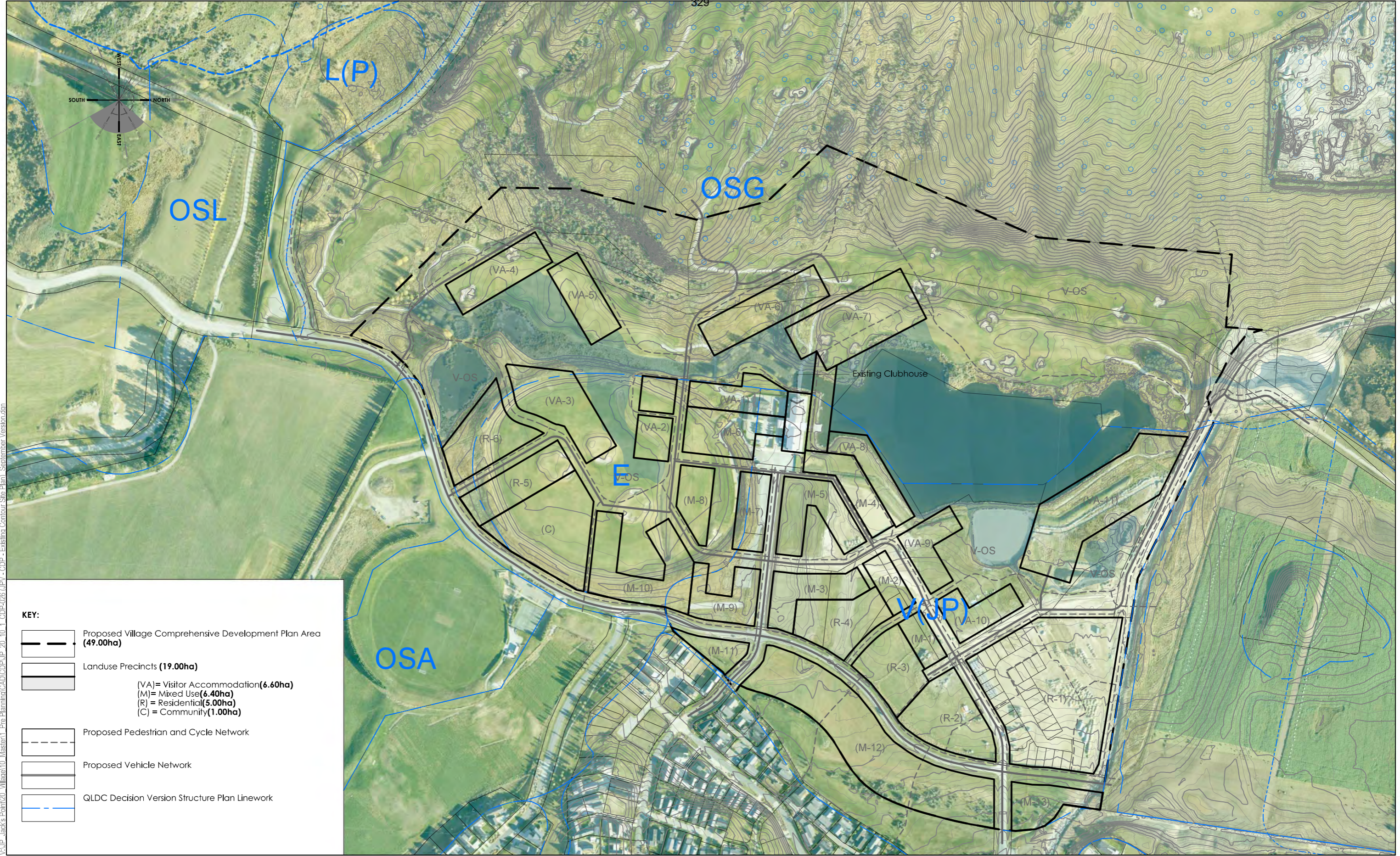
LANDSCAPE AND VISUAL ASSESSMENT
GRAPHIC SUPPLEMENT

25 MAY 2021



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PAGE 1:	Figure 1: Jacks Point Village Comprehensive Development Plan (CDP)
PAGE 2:	Figure 2: Photo Viewpoint Map
PAGE 3:	Photos Viewpoints 1 - 2
PAGE 4:	Photos Viewpoints 3 - 4
PAGE 5:	Photos Viewpoints 5 - 6
PAGE 6:	Photos Viewpoints 7 - 8
PAGE 7:	Photos Viewpoints 9 - 10
PAGE 8:	Photos Viewpoint 11



KEY:

- Proposed Village Comprehensive Development Plan Area (49.00ha)
- Landuse Precincts (19.00ha)
 - (VA)= Visitor Accommodation(6.60ha)
 - (M)= Mixed Use(6.40ha)
 - (R) = Residential(5.00ha)
 - (C) = Community(1.00ha)
- Proposed Pedestrian and Cycle Network
- Proposed Vehicle Network
- QLDC Decision Version Structure Plan Linework

VAJP - Jack's Point 120 - Master1 - Pre Planning/CAD/CDP/JP_20_10_1_CDP-026 (JPV) - CDP - Existing Contour Site Plan - September Version.dgn

DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz

SCALE: 1:2,500 (A1); 1:5,000 (A3)

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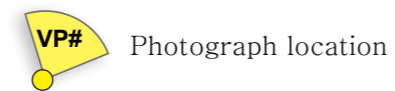
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-	For Information Only	06.05.21	JG	-	-

JACKS POINT VILLAGE - CDP
 EXISTING CONTOUR
 SITE PLAN

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-026** REV: **-**



LEGEND



Data Sources: Aerial image from Google Earth

JACKS POINT VILLAGE

Viewpoint Map

Date: 28 May 2021 Revision: 0

Graphics prepared for Darby Partners Ltd by Boffa Miskell Limited
 Project Manager: yvonne.pflugger@boffamiskell.co.nz | Drawn: MMe | Checked: YPf



(VA-4)

(VA-5)

(VA-6)

Clubhouse (VA-7)

331

Lake Tewa

Fernhill

Photo Viewpoint 1: Higher-lying viewpoint on Jacks Point Rise within Jacks Point residential area looking west towards the Village Activity Area and proposed extension to the south and west.



(VA-4)

(VA-5)

(VA-6)

(VA-7) Clubhouse

Photo Viewpoint 2: View from mid-level viewpoint on Jacks Point Rise towards the current E Activity Area.



Photo Viewpoint 3: From low-lying viewpoints on Jacks Point Rise views to the proposed Village extension into the E Activity Area would be mostly blocked.



Photo Viewpoint 4: View from Maori Jack Road towards the Clubhouse. The existing Village Activity Area is in the foreground and the proposed extension to the left.



Photo Viewpoint 5: View from Lodge Road towards Jacks Point residential area. Views to the Village would be mostly blocked by the escarpment below the golf course.

(VA-5)

(VA-6)

Clubhouse



Photo Viewpoint 6: View from the stormwater ponds south of the practice range towards the Clubhouse. This would be the southern extent of the Lake Tewa extension.

(VA-6)

(VA-6)

(VA-7)

Clubhouse



Photo Viewpoint 7: View from the southern boundary of the practice area towards the proposed Visitor Accommodation pods, which would be located on the western side of Lake Tewa and its proposed extension.

(VA-6)

(VA-7)

Clubhouse

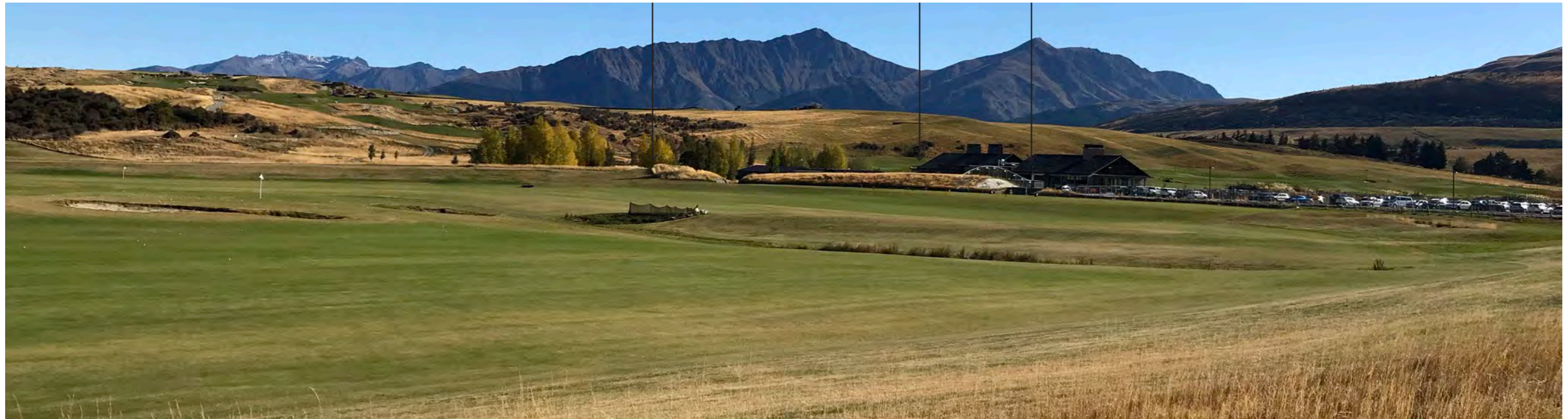


Photo Viewpoint 8: View from the eastern boundary of the practice area across the current E Activity Area which would be occupied by V Precincts under the proposal.

Lake Tewa



Photo Viewpoint 9: View from bridge across Lake Tewa near the Clubhouse looking north onto the northern-most proposed Visitor Accomodation Precinct VA - 7.

(VA-5)

(VA-4)



Photo Viewpoint 10: View in S-E direction across golf holes that would be re-routed to allow for VA Precincts 4 to 6. The proposed Lake Tewa extension would follow the low-lying area in the centre of the image.



Photo Viewpoint 11: View in S-W direction from Lake Tewa bridge at the Clubhouse. The proposed Lake Tewa extension would follow the low-lying area in the centre of the image.

About Boffa Miskell

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Appendix 11: Revised CDP

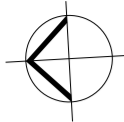
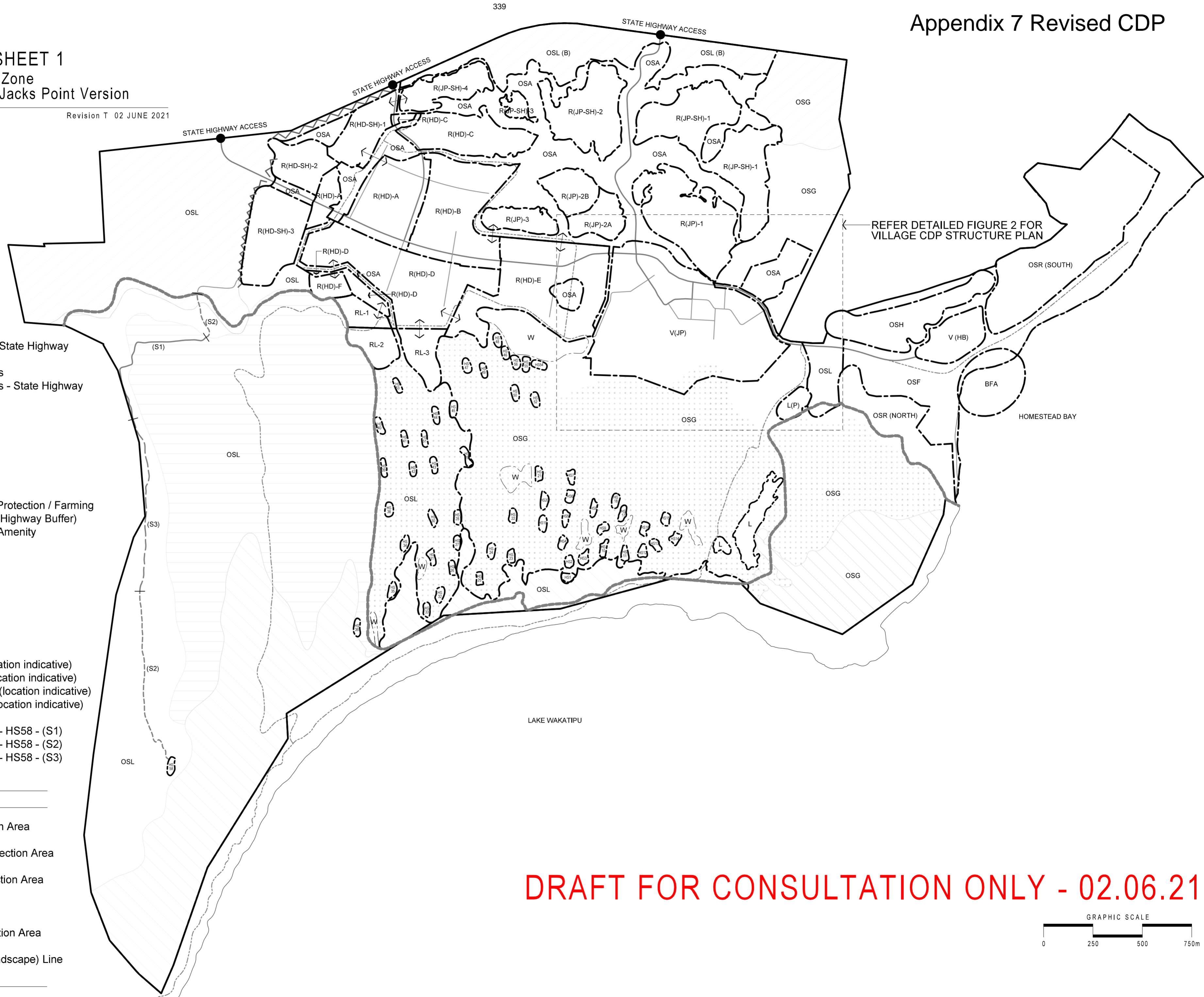


FIGURE 1 - SHEET 1

Jacks Point Zone
Structure Plan for S293 - Jacks Point Version

scale 1:25,000 (A4), 1:12,500 (A2)

Revision T 02 JUNE 2021



KEY

- R(JP) Residential Jacks Point
- R(JP-SH) Residential Jacks Point - State Highway
- V(JP) Village Jacks Point
- R(HD) Residential Hanley Downs
- R(HD-SH) Residential Hanley Downs - State Highway
- RL Rural Living

- L Lodge
- L(P) Lodge Parking
- HS Preserve Homesites

- W Wetland
- OSG Open Space Golf
- OSL Open Space Landscape Protection / Farming
- OSL (B) Open Space Landscape (Highway Buffer)
- OSA Open Space Residential Amenity

- V(HB) Village Homestead Bay
- OSH Open Space Horticulture
- OSR (NORTH) Open Space Residential
- OSR (SOUTH) Open Space Residential
- OSF Open Space Foreshore
- BFA Boating Facilities Area

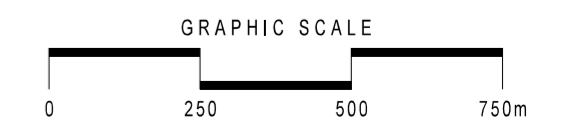
- Activity Area
- Public Access Route (location indicative)
- Primary Road Access (location indicative)
- Secondary Road Access (location indicative)
- Key Road Connections (location indicative)

- Secondary Road Access - HS58 - (S1)
- Secondary Road Access - HS58 - (S2)
- Secondary Road Access - HS58 - (S3)

OVERLAYS

- Highway Landscape Protection Area
- Peninsula Hill Landscape Protection Area
- Lake Shore Landscape Protection Area
- State Highway Mitigation
- Tablelands Landscape Protection Area
- ONL (Outstanding Natural Landscape) Line

DRAFT FOR CONSULTATION ONLY - 02.06.21



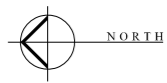


FIGURE 2
COMPREHENSIVE DEVELOPMENT PLAN
 Jacks Point Zone
 For S293 - Jacks Point Version

SCALE: 1:2000 (A1); 1:4000 (A3)

Rev T 02 June 2021

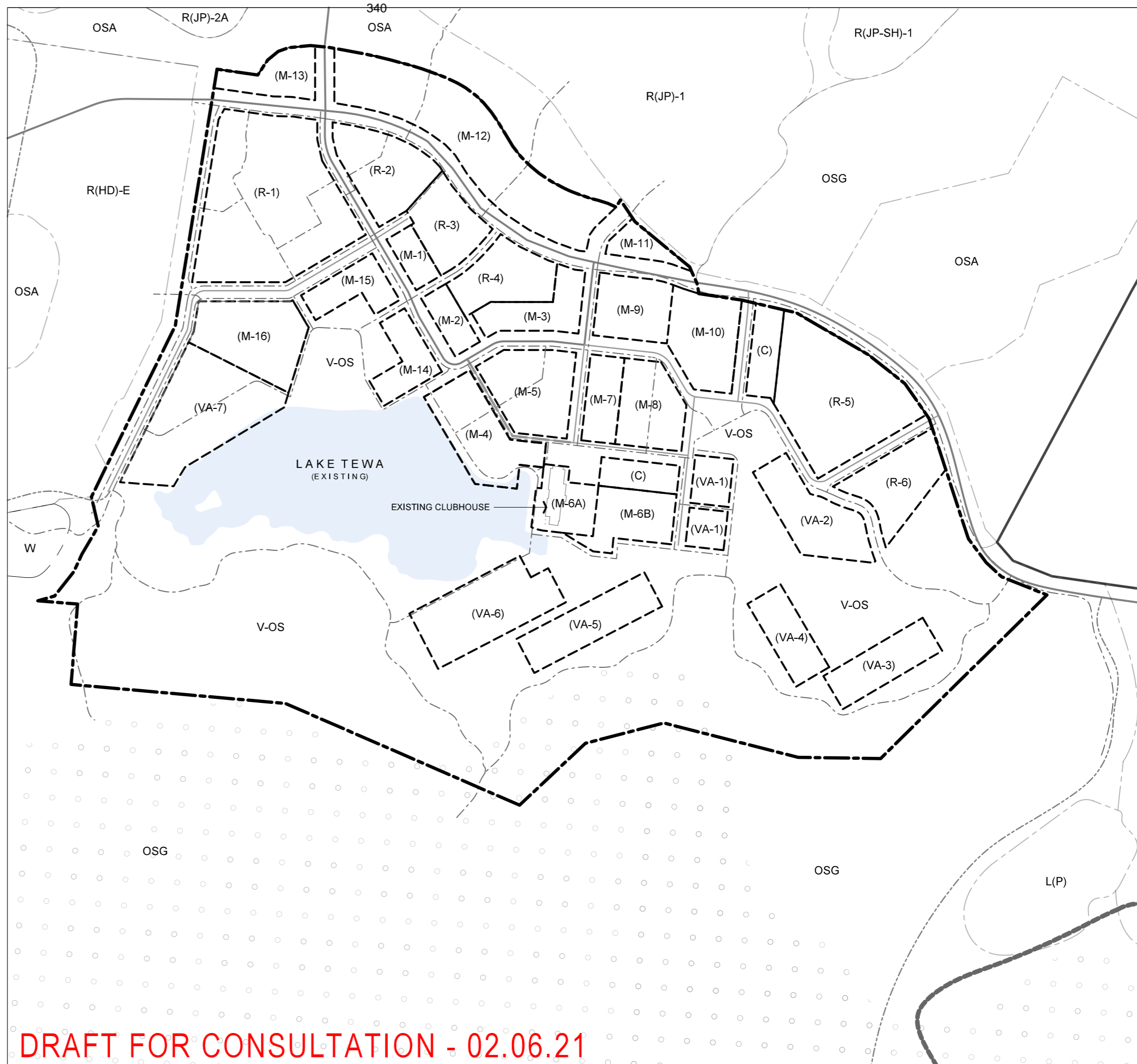


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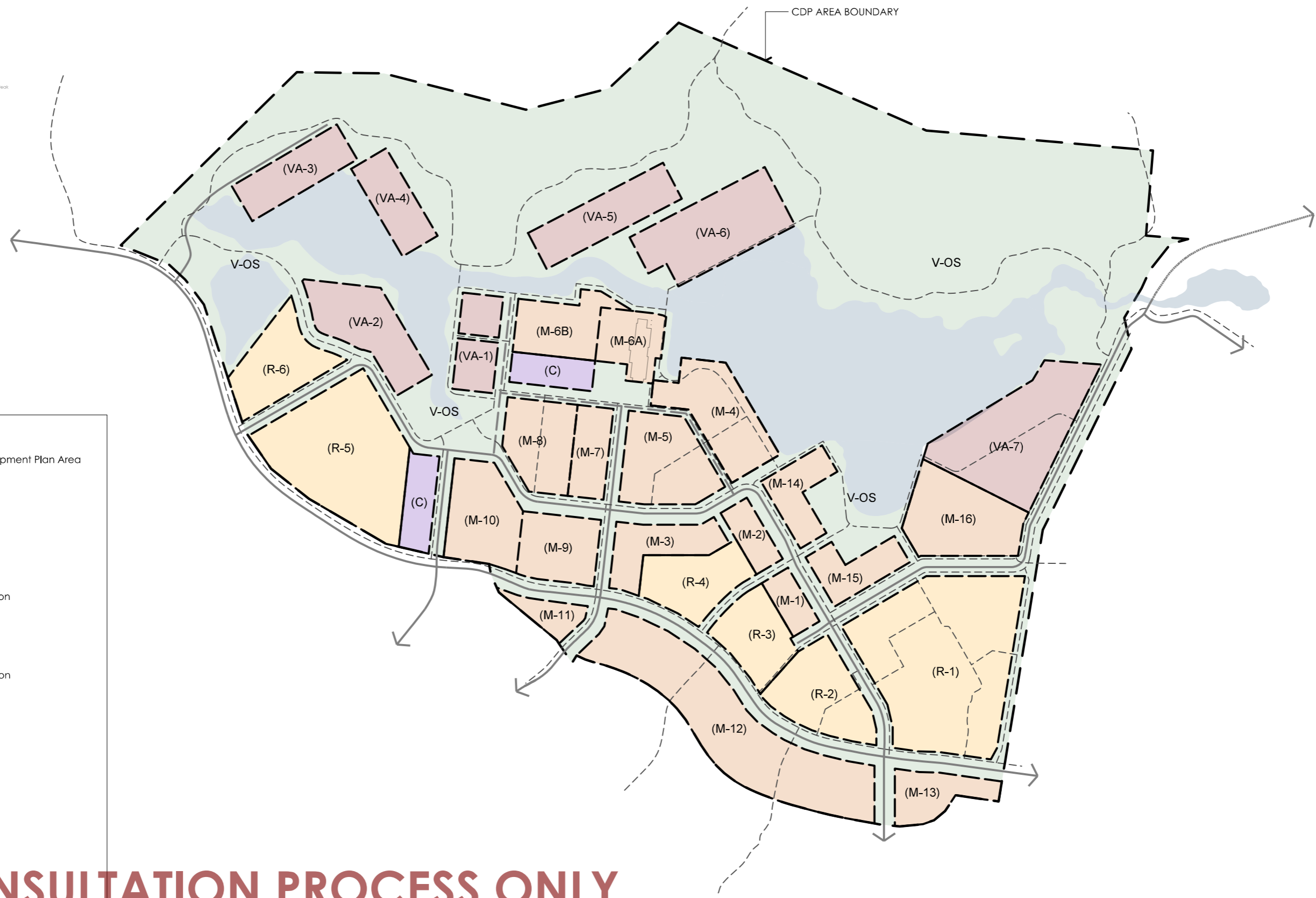
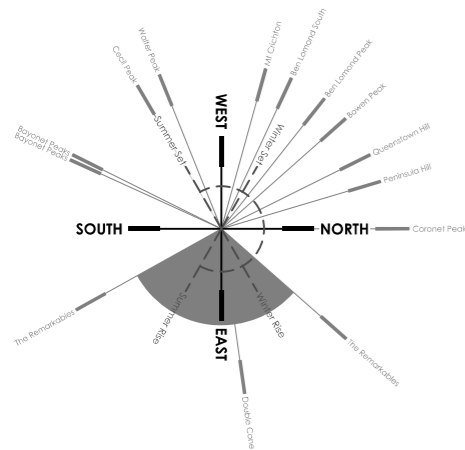
- | | |
|----------|---|
| R(JP) | Residential Jacks Point |
| R(JP-SH) | Residential Jacks Point - State Highway |
| V(JP) | Village Jacks Point |
| R(HD) | Residential Hanley Downs |
| L(P) | Lodge Parking |
| W | Wetland |
| OSG | Open Space Golf |
| OSA | Open Space Residential Amenity |
| | Village Activity Area - Subject to CDP |
| | Activity Area |
| | Public Access Routes and Laneways (location indicative) |
| | Primary Road Access (location indicative) |
| | Secondary Road Access (location indicative) |

LANDUSE PRECINCTS AND OVERLAYS

- | | |
|--------|--------------------------------------|
| (MU) | Mixed Use Precinct |
| (VA) | Visitor Accommodation Precinct |
| (R) | Residential Precinct |
| (C) | Community Precinct |
| (V-OS) | Village Open Space Precinct |
| | Tablelands Landscape Protection Area |



DRAFT FOR CONSULTATION - 02.06.21



KEY:

- Proposed Village Comprehensive Development Plan Area (49.00ha)
- Proposed Pedestrian and Cycle Network
- Proposed Roothing Network
- Landuse Precincts

(VA)= Visitor Accommodation
(M)= Mixed Use
(R)= Residential
(C)= Community Facilities
(V-OS)= Open Space

- Land Use Precinct - Visitor Accommodation 4.68ha
- Land Use Precinct - Mixed Use 9.05ha
- Land Use Precinct - Residential 6.19ha
- Land Use Precinct - Community 0.53ha
- Land Use Precinct - Open Space 28.55ha

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DARBY PARTNERS
Level 1, Steamer Wharf, Lower Beach Street
PO Box 1164, Queenstown 3348
Tel +64 3 450 2200 Fax +64 3 441 1451
info@darbypartners.co.nz
www.darbypartners.co.nz

SCALE: 1:2000 (A1): 1:4000 (A3)



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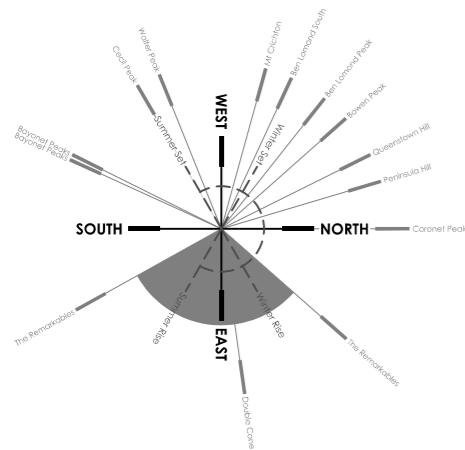
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A	For Information Only	19.03.21	TG	-	-
B	For Information Only	26.05.21	TG	-	-
C	For Information Only	26.05.21	JG	-	-
D	For Information Only	02.06.21	TG	-	-

JACKS POINT VILLAGE - CDP
STATUTORY PLAN
LAND USE PLAN

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-010** REV: **D**



KEY:

- Proposed Village Comprehensive Development Plan Area
- Proposed Land Use Precincts
- Road Network
- Pedestrian/ Cycle Network
- Public Lake Edge
- Lake Edge where 50% of the frontage identified shall be public

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 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz

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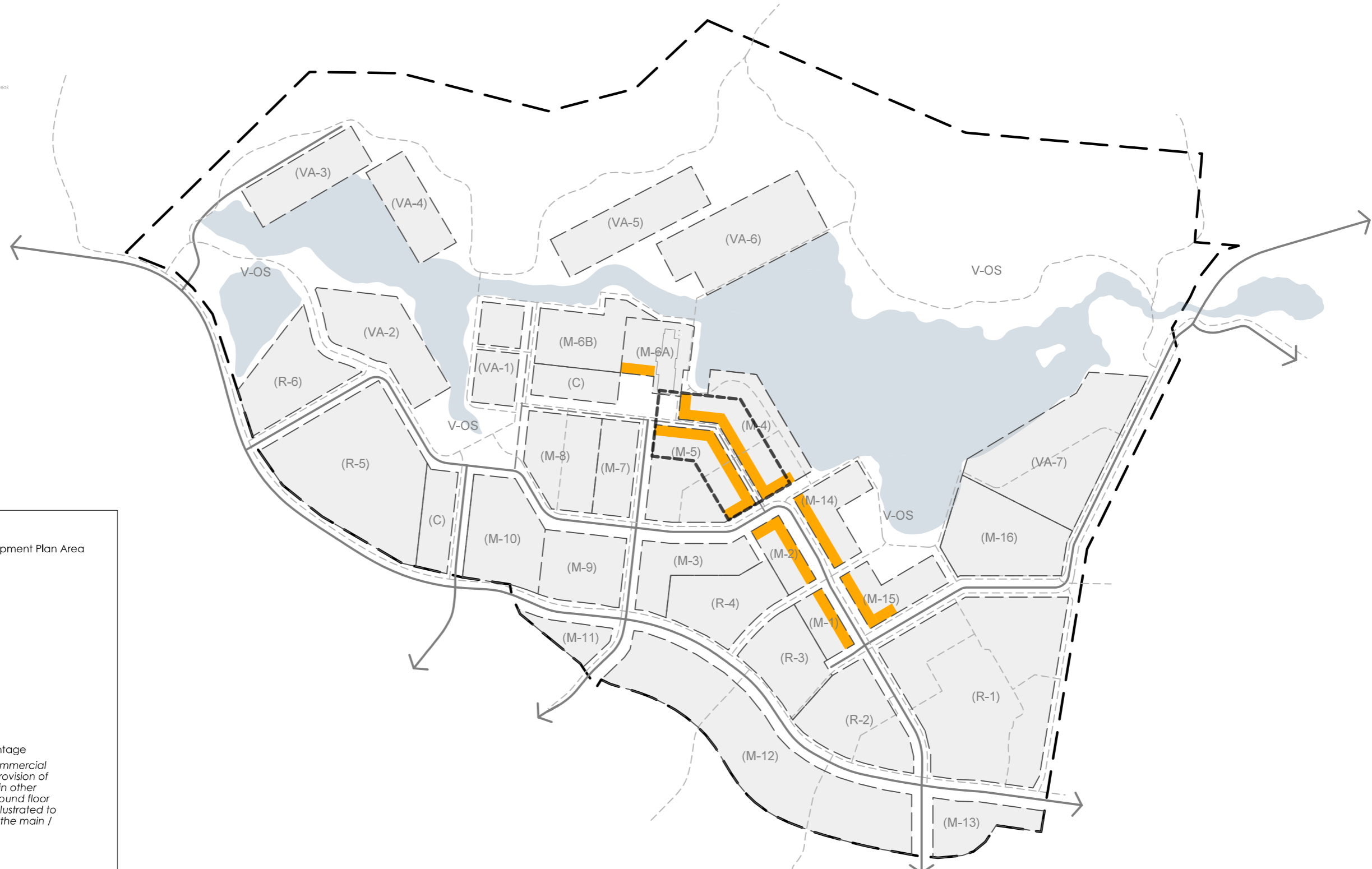
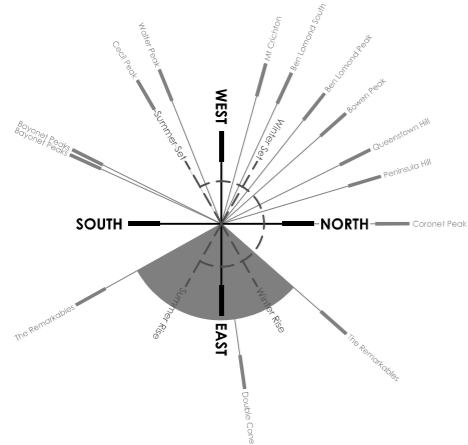
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A	For Information Only	27.05.21	JG	-	-
B	For Information Only	02.06.21	TG	-	-

**JACKS POINT VILLAGE - CDP
 WATERFRONT
 PUBLIC ACCESS PLAN**

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-028** REV: **B**



- KEY:**
- Proposed Village Comprehensive Development Plan Area
 - Proposed Land Use Precincts
 - Road Network
 - Pedestrian/ Cycle Network
 - Main Street Area
 - Ground Floor Retail and Commercial Frontage

Note: The ground floor retail and commercial extent shown does not restrict the provision of ground floor retail and commercial in other mixed use precincts, it mandates ground floor retail and commercial in the areas illustrated to ensure an active street frontage on the main / primary village streets.

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DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
 info@darbypartners.co.nz
 www.darbypartners.co.nz

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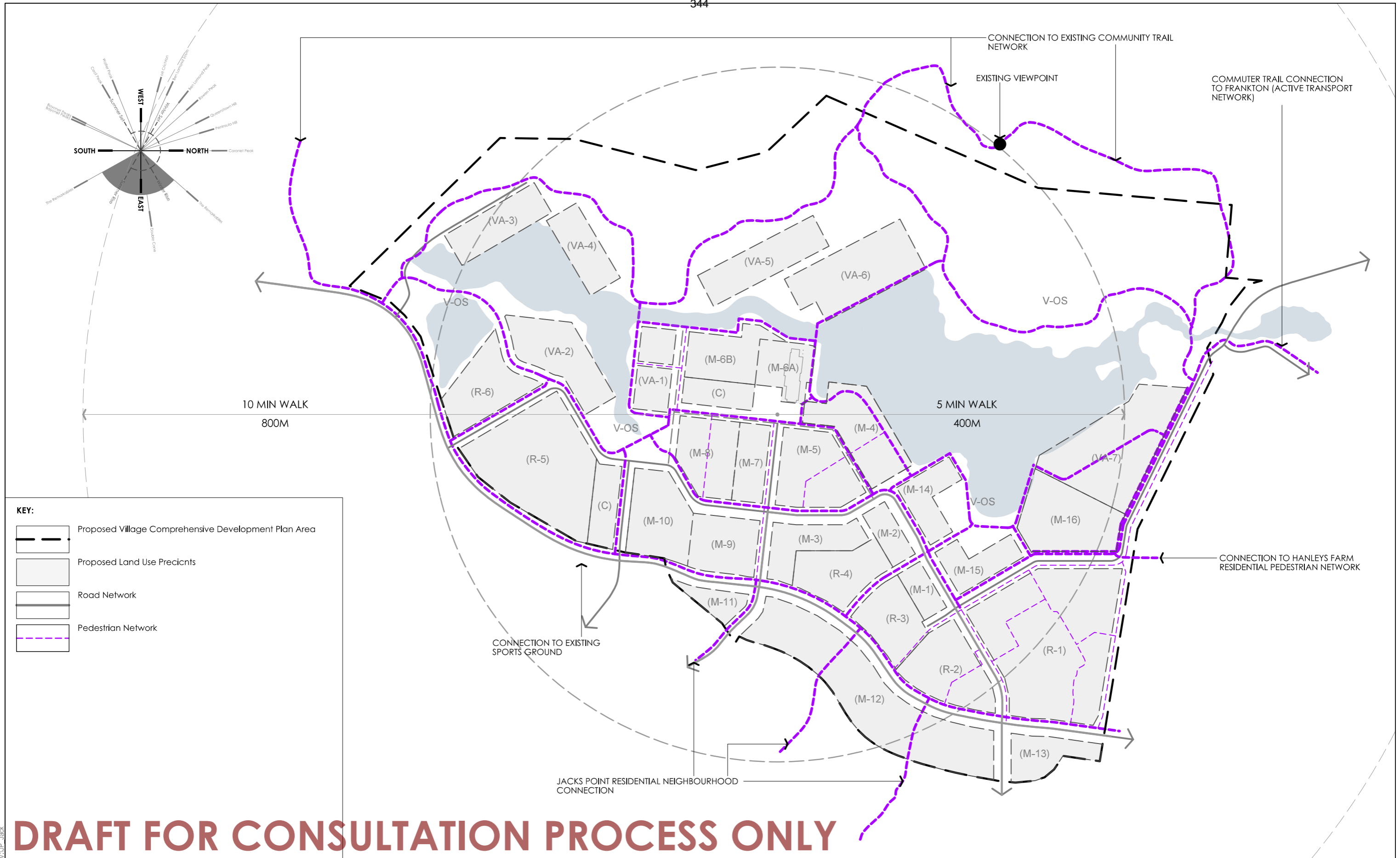
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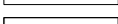
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A	For Information Only	19.03.21	TG	-	-
B	For Information Only	26.05.21	TG	-	-
C	For Information Only	02.06.21	TG	-	-

JACKS POINT VILLAGE - CDP STATUTORY PLAN GROUND FLOOR RETAIL FRONTAGE PLAN

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-017.01** REV: **C**



KEY:

-  Proposed Village Comprehensive Development Plan Area
-  Proposed Land Use Precincts
-  Road Network
-  Pedestrian Network

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DARBY PARTNERS
 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
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NOTES:

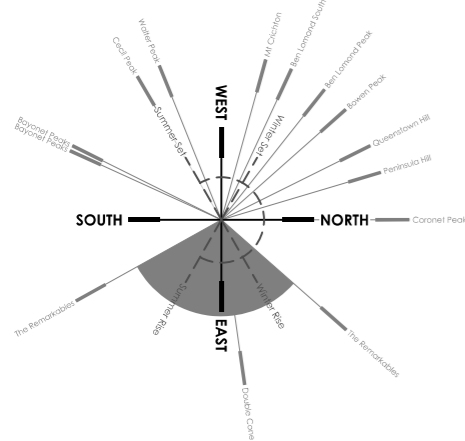
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C	For Information Only	02.06.21	TG	-	-

JACKS POINT VILLAGE - CDP
 STATUTORY PLAN
 PEDESTRIAN NETWORK

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-017.02** REV: **C**



KEY:

- Proposed Village Comprehensive Development Plan Area
- Proposed Land Use Precincts
- Road Network
- Pedestrian/ Cycle Network
- Cycle Network

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 Level 1, Steamer Wharf, Lower Beach Street
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SCALE: 1:2000 (A1): 1:4000 (A3)

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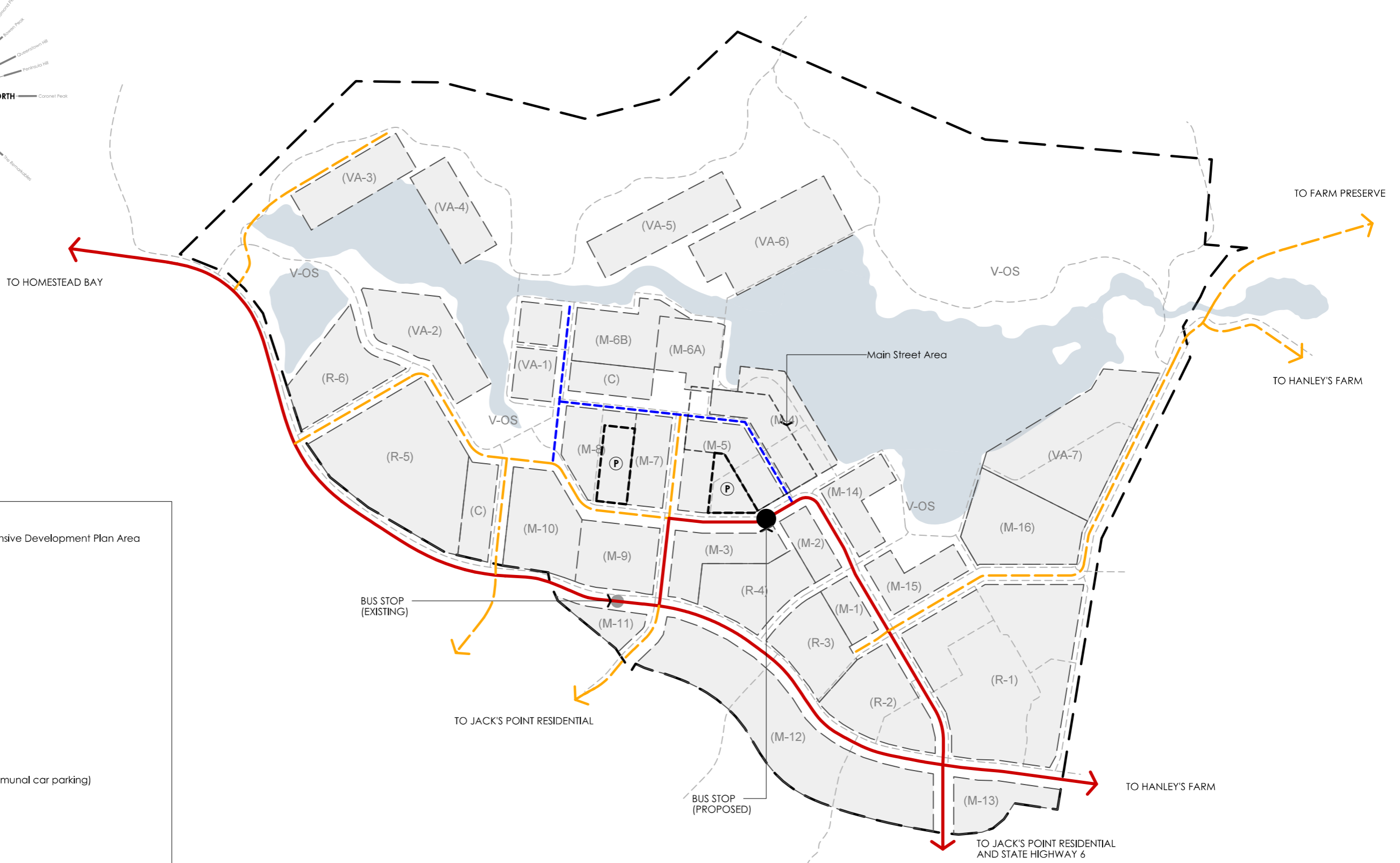
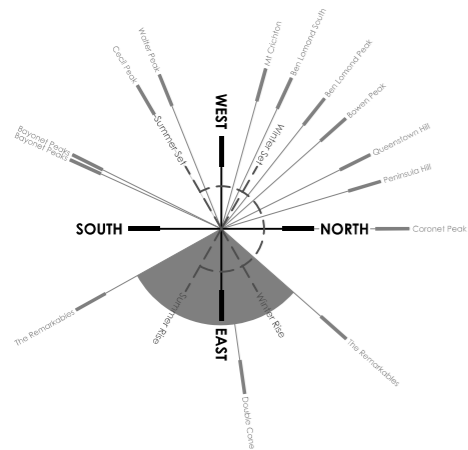
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C	For Information Only	02.06.21	TG	-	-

JACKS POINT VILLAGE - CDP
 STATUTORY PLAN
 CYCLE NETWORK

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-017.03** REV: **C**

VAJP Jack



KEY:

- Proposed Village Comprehensive Development Plan Area
- Proposed Land Use Precincts
- Main Street Area
- Primary Road Network
- Secondary Road Network
- Shared Road
- Parking Overlay (Areas with provision for communal car parking)
- Bus Stop (Existing)
- Bus Stop (Proposed)

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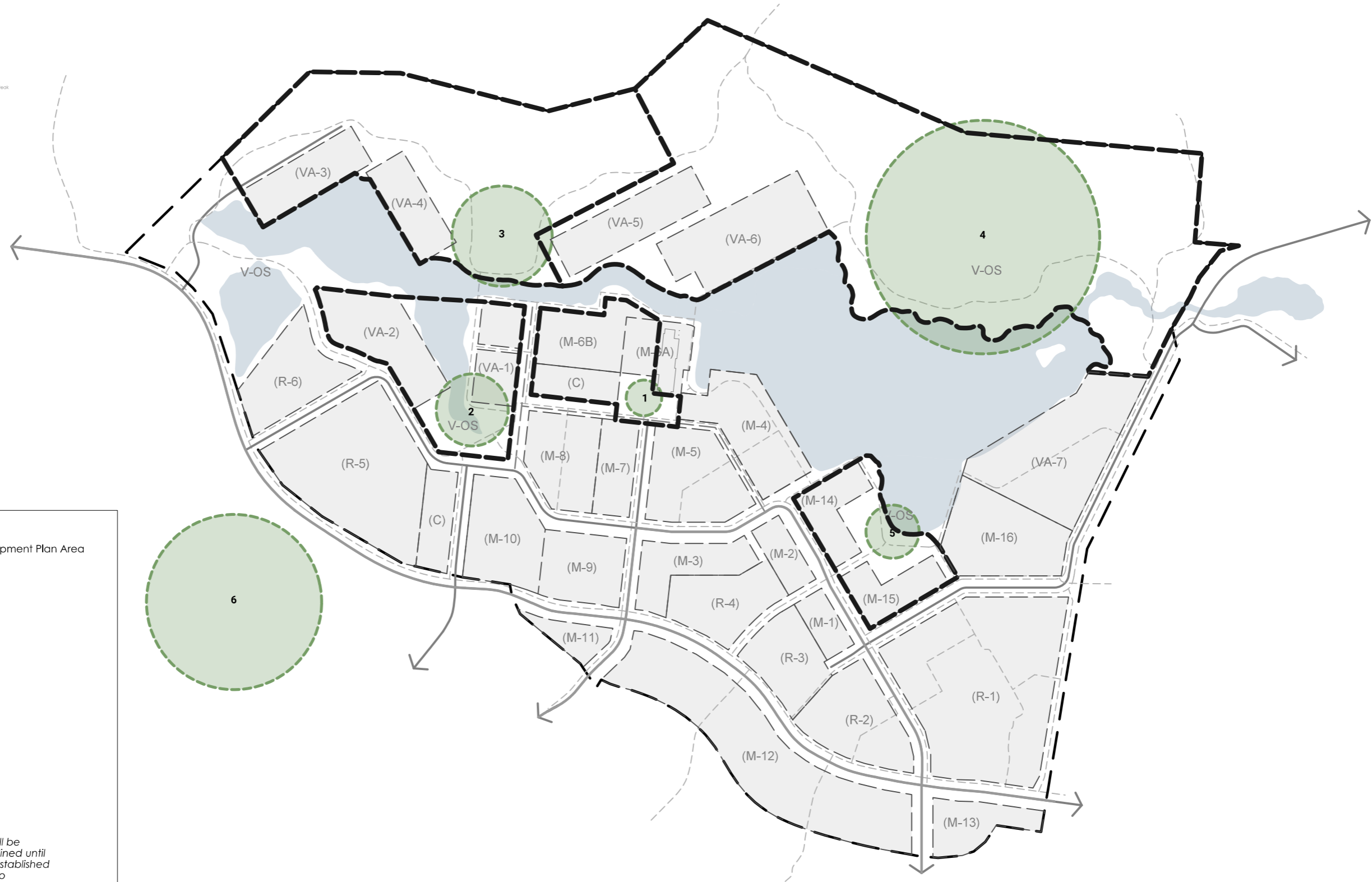
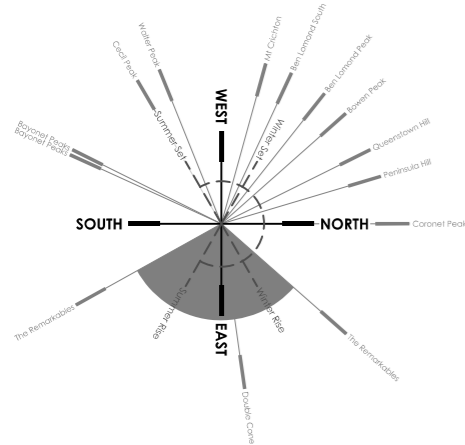
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JACKS POINT VILLAGE - CDP
 STATUTORY PLAN
 ROAD NETWORK AND HIERARCHY

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-017.04** REV: **C**



KEY:

- Proposed Village Comprehensive Development Plan Area
- Proposed Land Use Precincts
- Road Network
- Pedestrian/ Cycle Network
- Open Space Network
 - 1 - Village Square
 - 2 - Village Park and Wetland
 - 3 - Village Waterfront Park
 - 4 - Village Lakeside Common
 - 5 - Village Green
 - 6 - QLDC Sports Field (Existing)
- Open Space Staging Area

Note: No building development shall be undertaken within the precincts outlined until the relevant amenities have been established and any related land transferred into community ownership.

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 Level 1, Steamer Wharf, Lower Beach Street
 PO Box 1164, Queenstown 3348
 Tel +64 3 450 2200 Fax +64 3 441 1451
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 www.darbypartners.co.nz

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C	For Information Only	02.06.21	TG	-	-

JACKS POINT VILLAGE - CDP STATUTORY PLAN OPEN SPACE NETWORK

PLAN STATUS: **DRAFT** JOB CODE: **JP_20_10** DRAWING NO: **CDP-017.05** REV: **C**

JACKS POINT VILLAGE COMPREHENSIVE DEVELOPMENT PLAN

INTRODUCTION

The Comprehensive Development Plan (CDP), along with the plans and standards within it, the Design Guidelines, and relevant provisions of the QLDC District Plan direct and guide all development requiring resource consent in terms of Rule 41.4.2.1 within the Jacks Point Village Activity Area of the Propose District Plan.

This document forms a part of the CDP and establishes the requirements to become in accordance with the CDP. As part of the consideration of the effects of activities requiring consent within the Jacks Point Village Activity Area, this document provides design-based objectives that are intended to guide an assessment of the relevant matters of control.

The Village should provide for urban living set within nature and a level of convenience that retains strong connections to the natural, open environment that Jack's Point sits within.

The Jack's Point Village Comprehensive Development plan is a key planning mechanism to encourage high-quality urban design and implement Policy 41.2.1.19. The Village has been comprehensively planned to ensure activities and built form respect its special landscape setting by careful integration within a wider framework of connected green and blue open space and network of trails.

It should provide a cohesive collection of built forms that create sheltered and sunny open spaces for people to gather and connect. It should provide for a range of lifestyle and employment options to grow and sustain a resilient local community and economy that provides for both local resident and visitor needs now and well into the future.

The built form of the Village should also respect the valued natural character of its setting through the careful siting and organisation of buildings and use of predominantly natural materials and pallet of finishes and colours sympathetic to its wider landscape setting.

The purpose of the Comprehensive Development Plan is to:

- Provide a clear vision for the future of Jack's Point Village.
- Provide the mechanism to encourage high-quality urban design outcomes throughout the Jacks Point Village
- Establish an integrated and coordinated framework of connected green and blue open space.
- Locate land use precincts in areas that best allow for the successful integration of the resulting built forms with the valued natural character of the 'Village's setting.
- Set clear urban design principles and a framework to establish design controls against which development proposals requiring resource consent will be assessed.

The CDP does not authorise physical works, which are to be addressed through subsequent resource consent applications. The CDP intends to provide direction and guidance to applicants and the council when designing and assessing such applications for buildings and development within Jack's Point Village.

Interpretation and Structure of CDP

Rule 41.4.2.1 of the District Plan requires all commercial, community, residential, residential visitor accommodation, homestay, or a visitor accommodation activity within the Jack's Point (V), including the addition, alteration, or construction of associated buildings to obtain resource consent as a controlled activity.

For these activities to fall within the CDP and be considered as a controlled activity, they are required to be in accordance with the CDP and be of sufficient detail to enable the matters of control is to be fully considered. In response to this Rule the CDP allocates land uses according to 'Precincts', including Visitor Accommodation, Mixed Use, Residential, Community and Open Space. Within each precinct are design objectives, a range of 'CDP 'Standards' and design controls. To be in accordance with the CDP proposed development will be required to satisfy the relevant CDP standards for that precinct (or precincts) and the relevant CDP Plans referenced within each standard.

The CDP Plans comprise of the following:

- Landuse Plan
- Ground Floor Retail Frontage Plan
- Rooding Network and Hierarchy Plan
- Pedestrian Network plan

- Cycle Network Plan
- Open Space Network Plan

The related purpose of the CDP is to also establish further detail to enable the matters of control to be fully considered. This further detail is set out within the general design principals, the design objectives, and the design controls for each precinct.

THE COMPREHENSIVE DEVELOPMENT PLAN – DESIGN PRINCIPLES

The following design principles and objectives have informed both the spatial layout of the CDP and the standards that apply.

DESIGN PRINCIPLES

AMENITY

To ensure the existing valued natural character of the village setting is protected or enhanced by appropriate design solutions.

Objectives

- Provide a strong framework of blue and green spaces within which built form can be appropriately located.
- Create attractive, connected nodes of blue and green space to encourage a range of different activities and uses.
- Create sheltered and sunny public spaces through the appropriate location and articulation of built forms.
- Protect or enhance key view shafts to the wider landscape through the appropriate alignment of roads, siting of public spaces and suitable building design.

CONNECTIVITY

To create pedestrian-focused, safe, efficient, and well-connected village environment. The circulation network should provide a wide range of transportation (outside of the motor-vehicle) options and experiences that provide linkages to the wider open space network.

Objectives

- Creation of new trail connections within the Village to provide connectivity with the adjacent Jack's Point Neighbourhoods, open spaces, and the wider Wakatipu Basin. Trail connections should provide for multiple means of non-vehicular related transport (bikes, pedestrian, electric carts, boats, etc).
- Create a pedestrian-focused environment with permeable development blocks that provide connectivity and a sense of discovery throughout the Village.
- Enhance access and interaction on and around Lake Tewa and connected waterbodies.
- Provide an efficient Vehicle network through the Village without impacting the pedestrian environment.

CHARACTER

Create a Village character that reflects its unique mountain setting and celebrates the history and architectural traditions of the site and wider district. The built form and landscape treatment of open spaces should reflect both the natural and cultural values of its wider setting.

Evolve and maintain a common design language through the careful and considered use of raw, natural materials and unity of built forms, building on that which is already present within Jack's Point.

Objectives

- Create a unique pedestrian-friendly waterfront built environment, providing a diverse range of experiences and outdoor activities that encourage interaction with Lake Tewa.

- Outside of the waterfront built environment, protect and enhance the natural character of the lake foreshore.
- Create a range of sheltered and sunny public spaces that cater to both the needs of residents and visitors alike.
- Provide for a higher degree of visual and physical permeability between buildings and open space built forms in and around key public open spaces by the careful siting and density of adjoining built forms.
- Provide for a diverse range of land use activities within the Village to offer a high level of convenience, lifestyle and employment options with a focus on living, visiting, learning, local employment, well being and recreation.
- Provide for a cohesive and concentrated retail area within the Mixed-Use precinct such as the 'Village Main Street' that caters to both the existing and future requirements of the wider local community and visitors.
- Provide land dedicated to meeting community needs and supporting infrastructure.

ENVIRONMENT

To ensure that the natural and built environment is both protected and enhanced. Development should promote and encourage appropriate design solutions to ensure it is sympathetic to the surrounding environment.

Objectives

- Ensure that the water quality of Lake Tewa is protected. Protect the existing night-time ambience through the promotion of low-level light solutions.
- Promote the use of sustainable materials and green engineering systems throughout the built environment through the Design Guidelines.
- Outline a direction to ensure the minimisation of passenger vehicle movement within the Village through appropriate, efficient roading networks, hierarchy, and design.
- The support of green building techniques within the Design Guidelines encouraging cleverly designed spaces to allow solar gain, maximise airtightness of the building envelope, natural ventilation and increased insulation contribute to energy conservation and a healthy and comfortable living environment.

CDP STANDARDS

1.2 Village-Wide Standards

1.2.1 Design Objectives

The design objectives below establish further detail relevant to the Village-Wide to enable the matters of control to be fully considered.

- a) Creation of a pedestrian-focused, safe, efficient, and well-connected village environment, the circulation network should provide a wide range of transportation (outside of the motor-vehicle) options and experiences that provide linkages to the wider open space network and the open space network within the Village.
- b) Creation of new trail connections to provide connectivity with the adjacent Jack's Point neighbourhoods, open spaces, and the wider Wakatipu Basin. Trail connections should provide for multiple means of non-vehicular related transport (bikes, pedestrian, electric carts, and boats etc).
- c) Create a pedestrian-focused environment with permeable development blocks that provide for connectivity and a sense of discovery throughout the Village, enhancing the fine-grain nature of the Village.
- d) Enhance access and interaction on and around Lake Tewa and connected waterbodies.
- e) Provide an efficient Vehicle network through the Village without disrupting or dominating the finer grain pedestrian environment.

1.2.2 CDP Standards

The CDP Standards, together with the related CDP Plans detailed below, shall be met for activities to be considered in accordance with the CDP.

CDP Standards	CDP Plans
<p>1.2.2.1 Village-Wide Activities</p> <p>All land use precincts may provide for the following activities:</p> <ul style="list-style-type: none"> - Recreation Amenities - Playgrounds - Landscaping - Roads, Vehicle Access, and Parking - Street Furniture - EV Charging Stations - Facilities in support of pedestrian and cycle trails and laneways - Lighting - Stormwater Retention - Underground Services - Non-accessory parking 	<ul style="list-style-type: none"> - Jacks Point Village – Land Use Plan - Jacks Point Village –Pedestrian Network - Jacks Point Village – Cycle Network - Jacks Point Village – Road Network and Hierarchy - Jacks Point Village- Open Space Network
<p>1.2.2.2 Pedestrian Links</p> <p>Pedestrian links shall be located in accordance with the Pedestrian Network Plan and shall facilitate connections to the wider existing trail networks.</p> <p>Variations to the network connections as shown will be considered providing they meet the intent by continuing to connect key nodes.</p>	<ul style="list-style-type: none"> - Jacks Point Village –Pedestrian Network

<p>1.2.2.3 Cycle Trails</p> <p>Cycle trails shall be located in accordance with the Cycle Network plan and facilitate connections to the wider existing trail network.</p> <p>Variations to the network connections as shown will be considered providing they meet the intent by continuing to connect key nodes.</p>	<p>– Jacks Point Village – Cycle Network</p>
<p>1.2.2.4 Building Coverage</p> <p>Building coverage shall not exceed a total of 12.00ha, as measured across the mixed-use, residential, visitor accommodation, and community precincts referred to on the ‘CDP Land use Plan’</p>	<p>– Jacks Point Village – Land Use Plan</p>
<p>1.2.2.5 Delivery of Public Amenities</p> <p>There shall be no occupation of buildings within the following precincts until the relevant amenities have been established and any related land transferred into community ownership:</p> <ol style="list-style-type: none"> a. <u>Village Plaza / Square</u> Precincts M-6A, M-6B, C Amenities to be established: Village Square b. <u>Village Wetland</u> Precincts: VA-1, VA-2 Amenities to be established: Wetland Planting and community park c. <u>Village Waterfront Park</u> Precincts: VA-3, VA-4 Amenities to be established: Village Waterfront Park d. Village <u>Lakeside</u> Common Precincts: VA-5, VA-6 Amenities to be established: Village Lakeside, Beech Planting e. <u>Village Green</u> Precincts: M-14, M-15 Amenities to be established: Village Green <p>Advice Note: Landscape Plan/s shall accompany any application for resource consent to provide for the particular amenities to be established above.</p>	<p>– Jacks Point Village – Open Space Network</p>

1.3 RESIDENTIAL LANDUSE PRECINCT

1.3.1 Design Objectives

The design objectives below establish further detail relevant to the Residential Precinct to enable the matters of control to be fully considered. The residential precinct should provide a variety of scales and typologies that supports an inclusive living environment. From medium density housing located in nature, single-family plots, to

social clusters of residences, through to higher density terraced / apartment living set within landscaped precincts.

Residential development should be focused around communal landscaped spaces with direct connections to trails and non-vehicular movement opportunities, promoting a shift away from reliance on cars.

1.3.2 CDP Standards

The CDP Standards, together with the related CDP Plans detailed below, shall be met for activities to be considered in accordance with the CDP.

CDP Standards	CDP Plans
<p>1.3.2.1 Activities</p> <p>The following activities may be undertaken within the Residential Precinct:</p> <ul style="list-style-type: none"> - Residential Activities 	<p>– Jacks Point Village - Land Use Plan</p>
<p>1.3.2.2 Building Coverage</p> <p>Within the Residential Precinct building coverage shall be limited to a maximum of 4.27ha.</p>	<p>– Jacks Point Village – Land Use Plan</p>

1.3.3 Design Controls

The design controls below *establish further detail relevant to the Residential Precinct to enable the matters of control to be fully considered:*

Buildings

- a) Buildings should be designed to include rich roof forms of varied planes and lines, the profile of the roofline against the sky should have interest and variety, avoiding repetitive rooflines and forms.

Open space

- b) All multi-unit developments must provide for shared or communal open space.

Streetscapes

- c) Communal or grouped car parking, decoupled from individual units, should be explored for multi-unit developments where it could improve streetscape and frontage outcomes or the quality of private outdoor space on the lot.
- d) Laneways typically serve typologies other than apartments. They are primarily for rear access to garages or car parking but also provide an important role in terms of open, communal space within the development.
- e) A high level of landscape amenity should be provided for residents, ensuring garage dominance is avoided.

1.4 MIXED USE LANDUSE PRECINCT

1.4.1 Design Objectives

The design objectives below establish further detail relevant to the Mixed-Use Precinct to enable the matters of control to be fully considered.

The Mixed-Use Precinct aims to create the vibrant centre of Jack's Point Village, focused around the Main Street (as identified on the Ground Floor Retail Frontage Plan).

The mixed-use precinct should provide active streetscapes that promote a high level of amenity and public realm quality.

Using varied architectural typologies, the mixed-use precincts should read as collections of buildings avoiding monotonous, large built form in order to emphasise a fine grain village character. Built form should emphasise verticality in width and facade treatments.

Laneways and breaks between buildings should feature heavily in these precincts in order to provide fine-grain pedestrian permeability to each precinct, connecting people to the open space network created throughout the Village.

1.4.2 CDP Standards

The CDP Standards, together with the related CDP Plans detailed below, shall be met for activities to be considered in accordance with the CDP.

CDP Standards	CDP Plans
<p>1.4.2.1 Activities</p> <p>The following activities may be undertaken within the Mixed-Use Precinct are:</p> <ul style="list-style-type: none"> - Visitor Accommodation - Residential Activity - Residential Visitor Accommodation - Homestays - Retirement Villages - Community Activities - Commercial Activities, including retailing located outside of the Ground Floor Retail Frontage - Technology and Innovation based businesses - Non-accessory car parking - Except that within the areas illustrated as Ground Floor Retail Frontage within the Ground Floor Retail Frontage Plan activities are limited to retail activities and commercial activities, excluding the following commercial activities: <ul style="list-style-type: none"> a. showrooms b. professional and administrative offices c. service stations d. motor vehicle sales <p>,that shall be located at ground floor level</p>	<p>– Jacks Point Village - Land Use Plan</p>
<p>1.4.2.2 Scale and Location of Commercial Activities</p> <ul style="list-style-type: none"> a) Singular Retail Tenancies within the Village Mixed Use Precinct shall be no greater than 200m², apart from within area (M-9), to allow for a supermarket - no maximum limit on floor area is mandated within this area. b) Any ground floor retail activity/frontage shall be located in accordance with the areas illustrated as 'Ground Floor Retail Frontage' on the Ground Floor Retail Frontage Plan. 	<p>– Jacks Point Village - Land Use Plan</p> <p>– Jacks Point Village – Ground Floor Retail Frontage Plan</p>

<p>1.4.2.3 Minimum Ground Floor Height</p> <p>a) Within the Mixed-Use Precinct, any ground floor retail activity must have a minimum finished floor to ceiling height of 3.50m for no less than 7.00m from that 'building's street frontage.</p>	<p>– Jacks Point Village - Land Use Plan</p> <p>– Jacks Point Village – Ground Floor Retail Frontage Plan</p>
<p>1.4.2.4 Building Coverage</p> <p>Within the mixed-use precinct building coverage shall be limited to a maximum of 6.24ha.</p>	<p>– Jacks Point Village – Land Use Plan</p>

1.4.3 Design Controls

Buildings

- a) Within the areas illustrated as the Main Street Area on the Ground Floor Retail Frontage plan, ground floor use shall be non-residential only.
- b) In cases where the commercial viability of non-residential use cannot be proven, residential units may be appropriate on the ground floor where they are easily adaptable / converted once demand necessitates further retail / commercial activity.
- c) Where Visitor Accommodation activities occur within the Mixed-Use Precinct, they shall be located on upper levels only, with any ground floor activities associated with Visitor Accommodation reserved for lobbies, restaurants, retail and commercial activities and other non-habitable uses that have a high level of engagement with the street frontage.
- d) Ground floor use is restricted to retailing and commercial activity within Mixed Use Precinct M-9.

Streetscapes

- e) Vehicle crossings within the area identified as the Main Street area and shared road on the Road Hierarchy plan shall be restricted to two crossings only providing vehicle access (servicing) to Mixed Use Precincts M-4 and Visitor Accommodation Precinct VA-8.
- f) All laneways should provide or link to a continuous pedestrian connection through the block.
- g) Non accessory car parking provided for within the Mixed-Use Precincts should be visually screened from key areas of public realm. Where appropriate car parking can utilise a podium or basement structure to ensure the quality of the surrounding streetscape and public realm environment is not impacted and ensure efficient use of land.
- h) Any above ground multi-level car parks shall be sleeved with alternate uses at all levels to ensure the car parking structure has as little impact on its surroundings as possible.
- i) Non accessory car parking areas at grade or ground level should aim to minimize the amount of impermeable surfaces where possible.
- j) Non accessory car parking areas should be appropriately screened and landscaped with planting to visually reduce the impact of these areas on surrounding precincts / uses.
- k) Appropriate, safe and efficient pedestrian connections should be provided through the car parking areas that are well lit, and separated from vehicle movements to ensure safety of pedestrians and cyclists.
- l) Non accessory car parking should provide for an element of bike storage.

1.5 VISITOR ACCOMMODATION LANDUSE PRECINCT

1.5.1 Design Objectives

The design objectives below establish further detail relevant to the Visitor Accommodation Precinct to enable the matters of control to be fully considered.

The Visitor Accommodation precinct aims to provide a diverse range of lodging types to reflect a rapidly changing and evolving marketplace.

Provide a broad mix of visitor accommodation opportunities, ensuring that it is an inclusive, rather than exclusive environment for visitors whilst also providing for opportunities for lodging within each season.'

The Visitor Accommodation Precincts on the western side of Lake Tewa should be limited to access from Electric Vehicles and Carts only to ensure low impact on the surrounding open space areas. Any non electric vehicular access required shall be restricted to vehicles required for servicing.

1.5.2 CDP Standards

The CDP Standards, together with the related CDP Plans detailed below, shall be met for activities to be considered in accordance with the CDP.

CDP Standards		CDP Plans
1.5.2.1	<p>Activities</p> <p>Activities allowed for within the Visitor Accommodation Precinct are:</p> <ul style="list-style-type: none"> - Visitor Accommodation - Residential Activity - Residential Visitor Accommodation - Homestays - Retirement Villages 	- Jacks Point Village - Land Use Plan
1.5.2.2	<p>Commercial Activities within the Visitor Accommodation Precinct</p> <p>Commercial Activity within the Visitor accommodation precinct is restricted to premises for the sale of Food and 'Beverage's only.</p>	- Jacks Point Village - Land Use Plan
1.5.2.3	<p>Building Coverage</p> <p>Within the visitor accommodation precinct building coverage shall be limited to a maximum of 3.23ha.</p>	- Jacks Point Village – Land Use Plan

1.5.3 Design Controls

In order to ensure the most creative response in the built outcomes for the Visitor Accommodation precinct, limited building controls are proposed.

Buildings

- a) Buildings should engage positively with the Lake edge and may skew their orientation to make the most of views, sunlight and to maximise permeability/lakeside access for pedestrians.
- b) The front or street-facing façade of a large scale or multi-unit building such as a hotel should be articulated in a way that visually diminishes the overall bulk of the building and provides balanced proportion and scale relative to height. The expression of verticality should be prioritised over horizontality.

Streetscapes

- c) Drop off and pick up areas associated with accommodation need careful consideration to ensure they form an integrated part of the streetscape or laneway and do not compromise the pedestrian experience.
- d) It is important that grouped car parking does not have a negative impact on the streetscape, surrounding precincts and neighbourhoods. It should be located behind buildings, away from corners and feature landscape buffers wherever possible.

1.6 COMMUNITY PRECINCT**1.6.1 Design Objectives**

The design objectives below establish further detail relevant to the Community Precinct to enable the matters of control to be fully considered.

The Community Precinct is a consolidated area (1ha) designed to accommodate a range of Community Activities relating to health care, education, cultural and spiritual wellbeing, emergency services, and civic functions.

1.6.2 CDP Standards

The CDP Standards, together with the related CDP Plans detailed below, shall be met for activities to be considered in accordance with the CDP.

CDP Standards	CDP Plans
<p>1.6.2.1 Activities</p> <p>Activities allowed for within the Community Precinct area are:</p> <ul style="list-style-type: none"> - Health - Welfare - Safety - Education - Cultural and Spiritual Wellbeing - Day Care Facilities - Hospitals - Doctors Surgeries and other Health Professionals - Halls - Libraries - Community Centres - Police Purposes - Fire Stations 	<p>- Jacks Point Village - Land Use Plan</p>
<p>1.6.2.2 Building Coverage</p> <p>Within the community precinct building coverage shall be limited to a maximum of 0.37ha.</p>	<p>- Jacks Point Village – Land Use Plan</p>

1.6.3 Design Controls*Buildings*

- a) Building designs are encouraged to be distinctive. However, it is important that building design still expresses that they are clearly within Jack's Point Village in relation to materiality and form.

Open Spaces

- b) Provide linkages to surrounding parts of the zone in accordance with the Pedestrian Network Plan.

Streetscapes

- c) Community activities with a higher level of demand for vehicles shall be located where possible to have direct access onto the roading network, ensuring separation from pedestrian-focused activities such as community buildings.
- d) Passive surveillance is critical to achieving a safe and active street environment.
- e) Provide traffic safety and calming treatments such as islands, medians, and crossings to aid pedestrian connectivity.

1.7 OPEN SPACE PRECINCT

1.7.1 Design Objectives

The design objectives below establish further detail relevant to the Open Space Precinct to enable the matters of control to be fully considered.

The Open Space Precinct of the Village should create an interconnected network of open spaces, public realm, and environments that are the most critical and important aspects of the Village.

A network of roads, pedestrian and cycle linkages should efficiently connect these spaces through the use of on and off-street cycle lanes, pedestrian laneways and linkages, primary and secondary vehicle movement corridors, shared streets, and public boardwalks on the waterfront.

The open space precinct should build on the revegetation framework already present at Jack's Point, utilising similar materiality and plant species.

The Open Space precinct should provide for a range of different spaces, activities, experiences and uses:

- Boardwalks
- Beaches
- Wetlands – Assisting in the management of Stormwater, protecting the water quality of Lake Tewa
- Native Revegetation
- Parks / Commons
- Urban Plazas
- Active Streetscapes – consisting of activities
- Private Residential Streetscapes

1.7.2 CDP Standards

The CDP Standards together with the related CDP Plans detailed below shall be met for activities to be considered in accordance with the CDP.

CDP Standards	CDP Plans
<p>1.7.2.1 Activities</p> <p>The range of activities allowed for within the Open Space Precinct are:</p> <ul style="list-style-type: none"> - Each of the activities listed within 1.2.2.1 - 	<p>– Jacks Point Village - Land Use Plan</p>

<p>1.7.2.2 Road Hierarchy</p> <p>All roads shall be in general accordance with the objectives below for each hierarchy as identified on the Road Hierarchy Plan (CDP-017.05).</p>	<p>– Jacks Point Village – Road Network Hierarchy</p>
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1.7.3 Design Controls

- a) Develop a predominantly pedestrian and cycle-friendly character within Jacks Point Village.
- b) Provide bus stops located in accordance with the Road Hierarchy Plan.

Primary Roads

- c) The key design parameters for Primary Roads are:
 - Cycle lanes should run separated from the Vehicle movement corridor where possible.
 - Primary Streets should be low speed (20 – 30km).
 - Electric Vehicle Charging should be provided for along the primary road frontage.
 - Legal Width: 15.00 - 20.00m
 - Movement Corridor Widths: 7.00m minimum (3.50m lane either side)
 - Footpath Widths: 2.50m minimum
 - Car Parking: Either side of road corridor, interchangeable.

Secondary Streets

- d) The key design parameters for Secondary Roads are:
 - Cycle lanes may be shared within the road corridor or separated where spatially possible.
 - Legal Width: 15.00m
 - Movement Corridor Widths: 5.60m to 7.00m maximum.
 - Footpath Widths: 1.50m minimum
 - Car Parking: Either side of road corridor

Shared Streets

- e) The key design parameters for Shared Roads are:
 - Legal Width: 7.50m to 10.00m
 - Movement Corridor Widths: 3.50m (one way) to 5.60m (two way)
 - Footpath Widths: Remainder of corridor width, can include landscaping.
 - Car Parking: No requirement.

JACKS POINT VILLAGE COMPREHENSIVE DEVELOPMENT PLAN – PLANS

- Landuse Plan
- Ground Floor Retail Frontage Plan
- Roading Network and Hierarchy Plan
- Pedestrian Network plan
- Cycle Network Plan
- Open Space Network Plan

Appendix 12: Proposed changes to Chapter 41 Jacks Point Zone

41 Jacks Point

Please Note: Variations to parts of this chapter have been decided by Council on 7 March 2019 as part of Stage 2 of the PDP. You can view the Stage 2 Decisions, appeals and section 274 notices on our website. The appeal and section 274 periods for the Stage 1 and 2 Decisions have closed.

41.1 Zone Purpose

The purpose of the Jacks Point Zone is to provide for residential, rural living, commercial, community and visitor accommodation in a high quality sustainable environment comprising residential areas, two mixed use villages and a variety of recreation opportunities and community benefits including access to public open space and amenities.

The village areas and associated residential activities at Jacks Point will be sustainable in their nature, constituting mixed density development, best practice methods of waste disposal and longevity in their quality and built form. The preparation of development controls and non-regulatory design guidelines, in conjunction with provisions of the District Plan and other methods, will ensure provision for the social, economic and cultural wellbeing of the wider community, while also assisting in ecological enhancement and the seamless integration of the built and natural environment.

In addition, the zoning anticipates an 18-hole championship golf course, a luxury lodge, small-scale commercial activities, provision for community facilities, craft and winery activities, outdoor recreation and enhanced access to and enjoyment of Lake Wakatipu.

41.2 Objectives and Policies

41.2.1 Objective - The establishment of an integrated community, incorporating residential living, visitor accommodation, community, and small-scale commercial activities with appropriate regard for landscape and visual amenity values, and within a framework of open space and recreation amenities.

Policies

General - Zone Wide

- 41.2.1.1 Require activities to be located in accordance with the Structure Plan (41.7) to establish the spatial layout of development within the zone and diversity of living and complementary activities, taking into account:
- a. integration of activities;
 - b. landscape and amenity values;
 - c. road, open space and trail networks;
 - d. visibility from State Highway 6 and from Lake Wakatipu.
- 41.2.1.2 Provide public access from the State Highway to the lake foreshore and to facilitate increased use and enjoyment of the margin and waters of Lake Wakatipu.
- 41.2.1.3 Provide safe and efficient road access from State Highway 6.

- 41.2.1.4 a. Ensure subdivision and development incorporates the design elements shown on the Structure Plan, namely roads, road connections, open space, access connections and trails.
- b. Ensure the efficient provision of servicing infrastructure, roading and vehicle access.
- c. Ensure efficient provision of sewage disposal, water supply and refuse disposal services which do not adversely affect water quality or other environmental values.
- 41.2.1.5 Control the take-off and landing of aircraft within the zone.
- 41.2.1.6 Avoid industrial activities.
- 41.2.1.7 Maintain and protect views into the Jacks Point Zone of a predominantly rural and open character when viewed from the lake, and to maintain and protect views across the site to the mountain peaks beyond the lake when viewed from the State Highway.

Residential

- 41.2.1.8 a. Provide for a diversity of living accommodation, including opportunities for farm and rural living at low densities.
- b. Provide for medium density and small lot housing subject to ensuring the scale and form of built development provides an appropriate standard of residential amenity and design.
- 41.2.1.9 Require that any conventional low density residential development in the Residential Hanley Downs (R(HD)) and Jacks Point (R(JP)) Activity Areas be offset by higher density residential development and common open spaces in order to achieve efficient use of land and infrastructure.
- 41.2.1.10 Maintain or enhance the character and amenity values that exist in the established Jacks Point Residential Activity Areas (R(JP)) as at 31 August 2016, including the high standard of design and landscape elements incorporated into communal open space areas, transport corridors and private lots, and lower average densities compared to the Hanley Downs Residential Activity Areas.
- 41.2.1.11 Enable medium density housing development within the established Jacks Point Residential Activity Areas (R(JP)) subject to the scale and form of built development being appropriate to the character of the Activity Area.
- 41.2.1.12 Recognise the (Hanley Downs) Residential Activity Areas (R(HD)) as being appropriate to accommodate residential development at a greater scale and intensity than elsewhere in the zone.
- 41.2.1.13 Apply residential development controls to protect privacy and amenity, provide access to sunlight, to achieve design cohesion, and to provide appropriate opportunities outdoor living, consistent with the residential density anticipated in that Activity Area.
- 41.2.1.14 Enable commercial activities on primary roads within the Hanley Downs Residential Activity Areas (R(HD)) of a scale limited to servicing the needs of the local community.
- 41.2.1.15 Provide for predominantly low density residential development in the Residential - State Highway Activity Areas ((R(HD-SH) and (R(JP-SH))), and appropriately mitigated through landscaping and the provision of open space.

- 41.2.1.16 Ensure that residential development in the Jacks Point Zone does not dominate views from the State Highway and that any adverse visual impacts are mitigated through landscaping, building design and provision of open space.

Villages and Education

- 41.2.1.17 a. Enable the Jacks Point Village Activity Area (V(JP)) to develop as the vibrant mixed use hub of the Jacks Point Zone, comprising a range of activities including:
- i. high and medium density residential housing;
 - ii. a small local shopping centre that services the needs of Jacks Point residents and provides for small scale destination shopping and office space;
 - iii. visitor accommodation;
 - iv. education facilities, community activities, healthcare, and commercial recreation activities;
 - v. technology and innovation-based business.
- b. Enable the Homestead Bay Village Activity Area (V(HB)) to develop as a secondary commercial and mixed use centre supporting aquatic activities and the needs of residential activity around Homestead Bay.
- 41.2.1.18 Enable commercial and community activities and visitor accommodation in the Jacks Point Village (V(JP)) and Homestead Bay Village (V(HB)) Activity Areas, provided residential amenity, health, and safety are protected or enhanced through:
- a. compatible hours of operation and noise;
 - b. a high standard of building design;
 - c. the location and provision of open space, buffers and setbacks;
 - d. appropriate landscape mitigation;
 - e. efficient design of vehicle access and car parking; and
 - f. an appropriate scale of activity, and form of building development.
- 41.2.1.19 Encourage high quality urban design throughout the Jacks Point Village (V(JP)) and Homestead Bay Village (V(HB)) Activity Areas by:
- a. requiring all subdivision and development to be in accordance with a Comprehensive Development Plan incorporated in the District Plan, which shall establish an integrated and coordinated layout of open space; built form; roading patterns; pedestrian, cycle access, and carparking; the land uses enabled within the buildings; streetscape design; design controls in relation to buildings and open space; and an appropriate legal mechanism to ensure their implementation;
 - b. requiring the street and block layouts and the bulk, location, and design of buildings to minimise the shading of public spaces and to avoid the creation of wind tunnels;
 - c. encouraging generous ground floor ceiling heights for commercial buildings that are relatively consistent with others in the village; and
 - d. encouraging the incorporation of parapets, corner features for landmark sites, and other design elements in order to achieve a positive design outcome and providing for

a 3 storey building height in the Jacks Point Village Activity Area and 2 storey commercial building height in the Homestead Bay Village Activity Area.

~~41.2.1.20 Enable the development of education and associated activities and day care facilities within the Education Activity (E) Area, subject to achieving a high standard of urban design.~~

Open Space

~~41.2.1.21~~ 41.2.1.20 Recognise the important contribution that the open space areas that adjoin the residential and village areas make to the identity, character, amenity, and outlook of the Jacks Point Zone for residents and visitors.

~~41.2.1.22~~ 41.2.1.21 Avoid all buildings in the Open Space Golf (OSG) and Open Space Residential Amenity (OSA) Activity Areas, other than ancillary small scale recreational buildings that are of a design that is sympathetic to the landscape. The "small scale" restriction does not apply to a single clubhouse or golf cart storage facility associated with the existing 18 hole Jacks Point golf course, that are located within the OSG Activity Area where it is not overlaid by the Tablelands Landscape Protection Area.

~~41.2.1.23~~ 41.2.1.22 Provide for farming and associated activities, while ensuring that the scale of building and other development associated with those activities does not result in over-domestication of the landscape.

~~41.2.1.24~~ 41.2.1.23 Enable mining activities within the Open Space Golf (OSG) Activity Area for the development of the Jacks Point Zone provided the adverse environmental effects of the activity are managed.

~~41.2.1.25~~ 41.2.1.24 Provide for local biodiversity through:

- a. the protection and enhancement of existing ecological values, in a holistic manner;
- b. reduction in grazing around wetland areas; and
- c. the provision of links between grey shrublands, wetlands and the lakeshore escarpment, including indigenous vegetation links between Activity Areas where appropriate.

~~41.2.1.26~~ 41.2.1.25 Ensure that development within the ecologically sensitive areas of the zone results in a net environmental gain.

~~41.2.1.27~~ 41.2.1.26 Ensure that subdivision, development and ancillary activities within the Tablelands Landscape Protection Area maintain the character of the landscape.

~~41.2.1.28~~ 41.2.1.27 Ensure substantial native revegetation of the gully within the Open Space Foreshore (OSF) Activity Area within Homestead Bay and the Homesite (HS) Activity Areas.

~~41.2.1.29~~ 41.2.1.28 Ensure that use and development within Homesites HS₃₈ to HS₅₆ and any adjoining area of OSL or OSG, maintains and enhances the indigenous biodiversity, ecological values landscape character, and visual amenity values of these Homesites and this part of the Tablelands Landscape Protection Area through the implementation of a Vegetation Management Strategy.

~~41.2.1.30~~ 41.2.1.29 Encourage native planting of the Open Space Activity Areas (OSF, OSL and OSG).

[41.2.1.31](#)[41.2.1.30](#) Provide for the development of lakeside activities and low density residential development in the Homestead Bay area, in a manner which complements and enhances amenity values.

[41.2.1.32](#)[41.2.1.31](#) Ensure that use and development within Homesite Activity Areas HS₃₉ and HS₄₀ maintains or enhances the landscape character and visual amenity values of the Tablelands Landscape Protection Area, and protects the values of the Outstanding Natural Landscape, by:

- a. Ensuring building development is not visually prominent when viewed from State Highway 6, other Homesites within the Tablelands Landscape Protection Area, the access road to the Homesites, the Lodge Activity Areas, the Queenstown Trail, and the Jacks Point residential activity areas, recognising that buildings will be visible from these areas;
- b. Ensuring vehicle access harmonises with the landform, including by establishing native tree and shrub planting to mitigate visibility and utilising shared accessways as much practical;
- c. Avoiding light spill beyond the Homesite;
- d. Requiring the planting of predominantly indigenous vegetation species to enhance indigenous biological diversity, and build on existing ecological patterns, including wetland and grey shrubland habitats in accordance with Vegetation Management Strategy; and
- e. Requiring that buildings do not detract from the landscape values of the adjacent Peninsula Hill Outstanding Natural Landscape.

Lodge

[41.2.1.33](#)[41.2.1.32](#) To provide for visitor accommodation and ancillary facilities within the Lodge (L) Activity Areas in a manner that does not adversely affect the open character and amenity of the surrounding Open Space Golf (OSG) Activity Areas.

Homesite 58

[41.2.1.34](#)[41.2.1.33](#) Ensure that use and development within Homesite 58:

- a. Does not detract from the visual amenity and open space values when viewed from the urban areas of Queenstown; is not visible from within residential activity areas of the Jacks Point Zone; and that the visual effects of effects of building development from Lake Wakatipu are restricted to views obtained from a distance of greater than 1.4 km;
- b. Is accessed by the private accessway shown on the Structure Plan (41.7) which is consistent in appearance to a simple farm type accessway, which incorporates native tree and shrub planting that screens it from views beyond Homesite 58;
- c. Avoids light spill beyond Homesite 58; and
- d. Enhances the nature conservation values, landscape values, and biodiversity values of HS58 and the adjoining OSL Activity Area through planting designed to reinforce existing landform and vegetation patterns.

41.3 Other Provisions and Rules

41.3.1 District Wide

Attention is drawn to the following District Wide chapters.

1 Introduction	2 Definitions	3 Strategic Direction
4 Urban Development	5 Tangata Whenua	6 Landscapes and Rural Character
25 Earthworks	26 Historic Heritage	27 Subdivision
28 Natural Hazards	29 Transport	30 Energy and Utilities
31 Signs	32 Protected Trees	33 Indigenous Vegetation
34 Wilding Exotic Trees	35 Temporary Activities and Relocated Buildings	36 Noise
37 Designations	District Plan web mapping application	

41.3.2 Interpreting and Applying the Rules

- 41.3.2.1 Any activity which is not provided for within the list of activities below or which is not provided a specific activity status through any other rule within Rule 41.4 Tables 1 - 5 'Activities located in Jacks Point Zone' shall be a discretionary activity.
- 41.3.2.2 The existence of a farm building either permitted or approved by resource consent under Rule 41.5.4.10 shall not be considered the permitted baseline for residential or other non-farming activity development within the Open Space Activity Areas of the Jacks Point Zone.
- 41.3.2.3 Where provisions refer to the Structure Plan, this shall be taken to mean the Structure Plan contained in Rule 41.7 and Rule 41.4 (Rules – Activities) and Rule 41.5 (Standards for Activities). References to the Structure Plan and to Activity Areas are references to the Jacks Point Zone Structure Plan and the Activity Areas identified on that Structure Plan.
- 41.3.2.4 A permitted activity must comply with all the rules listed in the Activity and Standards tables, and any relevant district wide rules.
- 41.3.2.5 Where an activity does not comply with a Standard in Rule 41.5 the Activity Status identified by the Non-Compliance Status column shall apply. Where an activity breaches more than one Standard, the most restrictive status shall apply to the Activity.
- 41.3.2.6 The following abbreviations are used within this Chapter.
- | | | |
|-----------------|------------------|-----------------------------|
| P Permitted | C Controlled | RD Restricted Discretionary |
| D Discretionary | NC Non-Complying | PR Prohibited |
- 41.3.2.7 Rule 33.5.2 does not apply within the Jacks Point Zone.

41.4 Rules – Activities

Table 1	Activities Located in the Jacks Point Zone	Activity Status
41.4.1	Residential Activity (R) Areas and the Rural Living Activity Area	
	Residential Activities Areas (R) 41.4.1.1 Residential activities – all Residential Activities Areas unless specified otherwise.	P
	Residential State Highway Activity Areas R(SH) 41.4.1.2 Residential activities and works for the visual mitigation of the effects of development as viewed from the State Highway	P
	Rural Living (RL) Activity Area 41.4.1.3 Residential activities. Control is reserved to: <ol style="list-style-type: none"> a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; b. the adequacy of infrastructure and servicing; c. the effects of associated earthworks and landscaping; d. access and parking provision; e. the bulk and location of buildings; f. the effects of exterior lighting. 	C
	Residential R(HD) Activity Areas 41.4.1.4 Educational and Day Care Facilities. Control is reserved to: <ol style="list-style-type: none"> a. the location and external appearance of buildings; b. setback from roads; c. setback from internal boundaries; d. traffic generation, access and parking; e. provision of outdoor space; f. street scene including landscaping; g. provision for walkways, cycle ways and pedestrian linkages; h. potential noise impacts; i. infrastructure and servicing, including traffic effects. 	C

Table 1	Activities Located in the Jacks Point Zone	Activity Status
	<p>41.4.1.5 Residential Activity Areas R(HD) A – E, R(HD-SH) 1, and R(HD-SH)-3</p> <p>Any residential activity which results in either:</p> <ul style="list-style-type: none"> i. three or more attached residential units; or ii. density of more than one residential unit per 380 m² of net site area. <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. external appearance; b. access and car parking; c. traffic generation effects; d. associated earthworks; e. landscaping; f. effects on adjacent sites that are not part of the medium density residential development being applied for; g. bulk and location; h. legal mechanisms proposed in relation to building bulk and location. <p>Except that this rule shall not apply to residential units located on sites smaller than 380m² created pursuant to subdivision rule 27.7.5.2.</p>	RD
	<p>Residential R(JP) 1 - 3 and R(JP-SH) 4 Activity Areas</p> <p>41.4.1.6 Any residential activity which results in either:</p> <ul style="list-style-type: none"> i. three or more attached residential units; or ii. density of more than one residential unit per 380 m² of net site area. <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. external appearance; b. residential amenity values; c. access and car parking; d. associated earthworks.; e. landscaping; f. effects on adjacent sites that are not part of a medium density residential development subject to the application; 	RD

Table 1	Activities Located in the Jacks Point Zone	Activity Status
	<ul style="list-style-type: none"> g. bulk and location; h. legal mechanisms proposed in relation to building bulk and location. 	
	<p>Residential R(HD)A - D and R(SH-HD)1 - 3 Activity Areas</p> <p>41.4.1.7 Commercial activities and Community activities including the addition, alteration or construction of associated buildings.</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. location, scale and external appearance of buildings; b. setback from roads; c. setback from internal boundaries; d. vehicle access, street layout and car parking; e. street scene including landscaping; f. enhancement of ecological and natural values; g. provision for walkways, cycle ways and pedestrian linkages; h. scale of the activity; i. noise; j. hours of operation. <p>Except that this rule shall not apply to:</p> <ul style="list-style-type: none"> a. a single residential unit on any site contained within a separate computer freehold register; b. residential units located on sites smaller than 380 m² created pursuant to subdivision rules 27.5.5 or 27.7.5.2. 	RD
	<p>Residential R(HD)- E Activity Area</p> <p>41.4.1.8 Commercial activities, community activities, and visitor accommodation including the addition, alteration or construction of associated buildings.</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. location, scale and external appearance of buildings; b. setback from roads; c. setback from internal boundaries; d. traffic generation; e. vehicle access, street layout and car parking; 	RD

Table 1	Activities Located in the Jacks Point Zone	Activity Status
	<ul style="list-style-type: none"> f. street scene including landscaping; g. enhancement of ecological and natural values; h. provision for walkways, cycle ways and pedestrian linkages; i. scale of the activity; j. noise; k. hours of operation. 	
	<p>All Residential (R) Activity Areas and Rural Living (RL) Activity Area</p> <p>41.4.1.9 Residential Visitor Accommodation and Homestays</p>	P

Table 2	Activities Located in the Jacks Point Zone – Village and Education Activity Areas	Activity Status
41.4.2	Village and Education <u>V(JPV)</u> , and <u>V(HB)</u> and (E) Activity Areas	
	<p>Village Activity <u>V(JPV)</u> and <u>V(HB)</u> Activity Areas</p> <p>41.4.2.1 Any commercial, community, residential, residential visitor accommodation, homestay, or visitor accommodation activity, <u>retirement village, or recreation activity</u> within the Jacks Point (V) or Homestead Bay (HB) Village Activity Areas, including the addition, alteration or construction of associated buildings, provided the application is in accordance with a Comprehensive Development Plan incorporated in the District Plan, which applies to the whole of the relevant Village Activity Area and is sufficiently detailed to enable the matters of control listed below to be fully considered.</p> <p>Control is reserved to:</p> <ul style="list-style-type: none"> a. the layout and orientation of built form, open spaces, roading pattern, car parking, and pedestrian and cycle access; b. the bulk, location and external appearance of buildings and associated including the creation of active frontages adjacent to roads and public spaces; c. the density and location of any proposed residential activity; d. the location of any proposed commercial and community activity; e. landscaping; f. streetscape design; g. the formulation of design controls in relation to buildings, open space, and streetscapes and an appropriate legal mechanism to ensure their implementation; 	C

Table 2	Activities Located in the Jacks Point Zone – Village and Education Activity Areas	Activity Status
	<ul style="list-style-type: none"> h. the adequate provision of storage and loading/ servicing areas; i. traffic effects. 	
	<p>Education (E) Activity Area</p> <p><u>41.4.2.2 Building within Visitor Accommodation Precincts (VA-4, VA- 5, VA-6 and VA-7) of the V(JP) Activity Area</u></p> <p><u>Discretion is restricted to:</u></p> <ul style="list-style-type: none"> a. <u>the external appearance of buildings with respect to the effect on landscape character and to ensure that materials and colours are suitably recessive</u> b. <u>the recreation and amenity values created by the expansion of Lake Tewa</u> c. <u>associated earthworks and landscaping</u> d. <u>Ensuring that the bulk and location of building is broken up within the Precinct to be responsive to the landform and will continue to enable views to the open space activity area including the escarpment to the immediate west from the residential activity areas to the east.</u> e. <u>Ensuring building does not detract from the landscape character of the adjacent tablelands landscape protection area.</u> <p>41.4.2.2 Educational and Day Care Facilities.</p> <p>Control is reserved to:</p> <ul style="list-style-type: none"> a. location and external appearance of buildings; b. setback from roads; c. setback from internal boundaries; d. provision of outdoor space; e. street scene including landscaping; f. provision for walkways, cycle ways and pedestrian linkages; g. noise; h.a. infrastructure and servicing, including traffic effects. 	RDC

Table 3	Activities Located in the Jacks Point Zone – Lodge Activity Area	Activity Status
41.4.3	Lodge (L) Activity Areas – L(1), L(2) and L(P)	
	Lodge Activity Areas (L)(1) and L(2)	P

Table 3	Activities Located in the Jacks Point Zone – Lodge Activity Area	Activity Status
	<p>41.4.3.1 Visitor accommodation activities, restaurants, and conference facilities.</p> <p>Lodge Activity Area (L)(P)</p> <p>41.4.3.2 Parking associated with visitor accommodation activities, restaurants and conference facilities undertaken within L(1) and L(2).</p>	P
	<p>Buildings</p> <p>41.4.3.3 Buildings (including the addition, alteration or construction of buildings).</p> <p>Discretion is restricted to:</p> <ol style="list-style-type: none"> the external appearance of buildings with respect to the effect on visual and landscape values of the area; infrastructure and servicing; associated earthworks and landscaping; access and parking; bulk and location; exterior lighting. 	RD
	<p>41.4.3.4 Any tennis court (including fencing) located within Lodge Area 2, and any outdoor swimming pool (including fencing) located within any Lodge Area (except spa pools less than 9m² and located within any Lodge Activity Area) provided:</p> <ol style="list-style-type: none"> the tennis court surfaces are either dark green or grey in colour; and any tennis court fencing is chain mesh or similar, and grey in colour. <p>Control is reserved to:</p> <ol style="list-style-type: none"> associated earthworks and landscaping; colour; fencing, including any glare resulting from the location and orientation of glass pool fencing. 	C
	<p>41.4.3.5 Any tennis court (including fencing) located within Lodge Area 2 and any outdoor swimming pool (including fencing) located within any Lodge Area that does not comply with Rule 41.4.3.4(i) and (ii), with discretion restricted to those matters listed in Rule 41.4.3.4 (a) - (c).</p>	RD
	<p>41.4.3.6 Except as provided for in Rules 41.4.3.4 and 41.4.3.5, any outdoor tennis court located within the Lodge Activity Areas.</p>	NC

Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
41.4.4	Open Space (OS) and Homesite (HS) Activity Areas	
	<p>Open Space Golf (OSG) Activity Area</p> <p>41.4.4.1 Indigenous revegetation and outdoor recreation activities, including the development and operation of golf courses, associated earthworks, green keeping, driving range, administrative offices associated with golf, sales, and commercial instruction.</p>	P
	<p>Open Space Golf (OSG) Activity Area, except within the Lake Shore Landscape Protection Area</p> <p>41.4.4.2 Any administrative offices and buildings ancillary to outdoor recreation activities.</p> <p>Control is reserved to:</p> <ol style="list-style-type: none"> a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; b. the adequacy of Infrastructure and servicing; c. the effects of associated earthworks and landscaping; d. access and parking provision; e. the bulk and location of buildings; f. the effects of exterior lighting. 	C
	<p>Open Space Golf (OSG) Activity Area</p> <p>41.4.4.3 Any buildings within a Landscape Protection Area, or any buildings other than administrative offices and buildings ancillary to outdoor recreation activity; and any activities other than those specified under Rules 41.4.4.2 and 41.4.4.4.</p>	D
	<p>Open Space Golf (OSG) Activity Area</p> <p>41.4.4.4 The mining of rock and aggregate and/or gravel for use anywhere within the Jacks Point Zone.</p>	D
	<p>Open Space Landscape (OSL) Activity Area</p> <p>41.4.4.5 Pastoral and arable farming, endemic revegetation, and pedestrian and cycle trails.</p>	P
	<p>Open Space Landscape (OSL) (Highway Buffer) Activity Area</p> <p>41.4.4.6 Sheep farming, endemic revegetation, and pedestrian and cycle trails.</p>	P
	Open Space Landscape (OSL) Activity Area	

Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
	41.4.4.7 a. Any building within a Landscape Protection Area; b. Any building other than a building ancillary to farming activity.	D
	Any farm building other than within a Landscape Protection Area. 41.4.4.8 Control is reserved to: a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; b. the adequacy of Infrastructure and servicing; c. the effects of associated earthworks and landscaping; d. access and parking provision; e. the bulk and location of buildings; f. the effects of exterior lighting.	C
	Open Space Residential Amenity (OSA) Activity Area 41.4.4.9 Recreation amenities, playgrounds, landscaping, pedestrian and cycle trails, lighting, stormwater retention, and underground services.	P
	Open Space Residential Amenity (OSA) Activity Area 41.4.4.10 Any buildings ancillary to outdoor recreation activity. Control is reserved to: a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; b. the adequacy of Infrastructure and servicing; c. the effects of associated earthworks and landscaping; d. access and parking provision; e. the bulk and location of buildings; f. the effects of exterior lighting.	C
	Open Space Residential Amenity (OSA) Activity Area 41.4.4.11 Any building other than those ancillary to outdoor recreation activity.	D
	Open Space – Horticultural (OSH) Activity Area 41.4.4.12 Horticultural activities and accessory buildings and activities, and residential activities.	D
	Open Space – Residential (OSR) Activity Areas	

Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
	<p>41.4.4.13 OSR South</p> <p>No more than 39 residential units.</p> <p>41.4.4.14 OSR North</p> <p>No more than 10 residential units.</p>	D
	<p>Open Space Boating Facilities Activity Area OS (BFA)</p> <p>41.4.4.15 A double boat ramp, jetty, a weather protection feature or breakwater, a boat shed and associated boat/trailer/car parking and public facilities, provided that all facilities are available for public use.</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. effects on natural character; b. effects on landscape and amenity values; c. effects on public access to and along the lake margin; d. external appearance, colours and materials; e. location. 	RD
	<p>Open Space Wetland (OSW) Activity Area</p> <p>41.4.4.16 Structures restricted to those necessary to develop pedestrian access (e.g. boardwalks), fences, or other structures relating to the protection and enhancement of biodiversity and ecological values.</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. bulk and location; b. lighting; c. biodiversity values (temporary during construction and long term); d. external appearance (including colour and materials); e. amenity values; f. stormwater disposal; and g. landscaping in relation to any structures. 	RD
	<p>Homesite (HS) Activity Area</p> <p>41.4.4.17 No more than one residential building located within a Homesite (HS) Activity Area.</p> <p>Control is reserved to:</p>	C

Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
	<ul style="list-style-type: none"> a. the external appearance of buildings with respect to the effect on visual and landscape values of the area; b. infrastructure and servicing; c. associated earthworks and landscaping; d. access and parking; e. bulk and location; f. exterior lighting; g. the protection and enhancement of the wetland areas adjacent to the Homesite (HS) Activity Area; h. the implementation and maintenance of a Vegetation Management Strategy established through Rule 27.7.5.4. <p>Except that this rule shall not apply to residential units located on Homesite Activity Areas HS39, HS40 and HS58 pursuant to Rules 41.4.4.18 and 41.4.4.19.</p>	
	<p>41.4.4.18 No more than one residential unit located within Homesite Activity Area HS₅₈.</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. The external appearance of buildings with respect to the effect on visual and landscape values of the area; b. Infrastructure and servicing, including firefighting water supply; c. Associated earthworks and landscaping; d. The visual effects of building and associated lighting and access, including in views from within the Tablelands, residential areas and walkways areas of the Jacks Point Zone; e. Any mitigation and its impact on the character of the landscape; f. Consistency with the Structure Plan for the alignment of vehicle access to the Homesites; g. Light spill beyond the Homesite Activity Area; h. Enhancing nature conservation values, including where appropriate extending into the surrounding OSL Activity Area. 	RD
	<p>41.4.4.19 No more than one residential unit located within Homesite Activity Areas HS₃₉ and HS₄₀.</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. The external appearance of buildings with respect to the effect on visual amenity and landscape values of the area; b. Infrastructure and servicing; 	RD

Table 4	Activities Located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Activity Status
	<ul style="list-style-type: none"> c. Associated earthworks and landscaping; d. The visual effects of building and associated lighting and access; e. Light spill beyond the homesite activity area; f. Nature conservation values, consistent with any Vegetation Management Strategy; g. implementation and maintenance of any Vegetation Management Strategy established through Rule 27.7.5.4. 	
	<p>41.4.4.20 Any tennis court (including fencing) and any outdoor swimming pool (including fencing) located within a Homesite Area (except spa pools less than 9m²) provided:</p> <ul style="list-style-type: none"> i. the tennis court surfaces are either dark green or grey in colour; and ii. any tennis court fencing is chain mesh or similar, and grey in colour. <p>Control is reserved to:</p> <ul style="list-style-type: none"> a. associated earthworks and landscaping; b. colour; c. fencing, including any glare resulting from the location and orientation of glass pool fencing. 	C
	<p>41.4.4.21 Any tennis court (including fencing) and any outdoor swimming pool (including fencing) located in a Homesite Area that does not comply with Rule 41.4.4.20(i) and (ii), with discretion restricted to those matters listed in Rule 41.4.4.20 (a) - (c).</p>	RD
	<p>41.4.4.22 Except as provided for in Rules 44.4.4.20 and 44.4.4.21, any outdoor tennis court located within a Homesite Area or the Tablelands Landscape Protection Area.</p>	NC
	<p>Open Space Foreshore (OSF) Activity Area</p> <p>41.4.4.23 The regeneration of native endemic species and retention of open space</p>	P

Table 5	Activities Located in the Jacks Point Zone – Zone Wide Activities	Activity Status
41.4.5	Jacks Point Zone – Zone Wide Rules	
	<p>41.4.5.1 Sale of Liquor</p> <p>Premises licensed for the sale of liquor (including both off-licenses and on- licenses).</p>	RD

Table 5	Activities Located in the Jacks Point Zone – Zone Wide Activities	Activity Status
	<p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. location; b. scale of the activity; c. residential amenity values; d. noise; e. hours of operation; f. car parking and vehicle generation. 	
41.4.5.2	<p>State Highway Mitigation</p> <p>Mitigation works undertaken within the location shown on the Structure Plan.</p> <p>Control is reserved to:</p> <ul style="list-style-type: none"> a. the creation of a comprehensively designed landscape edge to the northern part of the zone within the OSA and R (HD – SH) 1 Activity Areas; b. mitigation of the visual impacts of potential buildings when viewed from State Highway 6 through earth contouring and vegetation (at maturity), within Activity Areas R(HD-SH) – 1 and R(HD-SH)- 2 and RHD-SH) 3; c. maintaining views across the zone to the mountains located against the western shores of Lake Wakatipu; d. appropriate plant species, height at planting and at maturity; and e. provision for on-going maintenance and ownership. 	C
41.4.5.3	<p>Aircraft</p> <ul style="list-style-type: none"> a. Emergency landings, rescues, firefighting and activities ancillary to farming activities; b. Informal Airports limited to the use of helicopters. c. The establishment and operation of Airport Activity or Aerodrome other than those allowed by Rules 41.4.5.3(a) and 41.4.5.3(b), including Informal Airports used by fixed wing aircraft. 	<p>P</p> <p>D</p> <p>NC</p>
41.4.5.4	41.4.5.4 Factory Farming	NC
41.4.5.5	41.4.5.5 Forestry activity, including plantation forestry within an OSL or ONL.	NC

Table 5	Activities Located in the Jacks Point Zone – Zone Wide Activities	Activity Status
	<p>For any Plantation Forestry outside an OSL or ONL the Resource Management (Resource Management (National Environmental Standard for Plantation Forestry) Regulation 2017 shall prevail.</p> <p>All forestry activities, excluding harvesting of forestry which existed as at 31 August 2016.</p>	
	<p>41.4.5.6 Mining Activities</p> <p>With the exception of the mining of rock and/or aggregate and/or gravel provided for by Rule 41.4.4.4.</p>	NC
	41.4.5.7 Industrial Activities	NC
	41.4.5.8 Landfill	NC
	41.4.5.9 Panelbeating, spraypainting, motor vehicle, repair or dismantling fibreglassing, sheet metal work, bottle or scrap storage, motorbody building, fish or meat processing.	PR
	41.4.5.10 Any activity requiring an Offensive Trade Licence under the Health Act 1956.	PR

41.5 Rules - Activity Standards

Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status																																				
41.5.1	Residential Activity Area																																					
	<p>Density</p> <p>41.5.1.1 The average density of residential units within each of the Residential Activity Areas shall be as follows:</p> <table> <tbody> <tr> <td>R(JP) – 1</td> <td>13 – 19 per Ha</td> </tr> <tr> <td>R(JP) – 2A</td> <td>14 – 33 per Ha</td> </tr> <tr> <td>R(JP) – 2B</td> <td>14 – 15 per Ha</td> </tr> <tr> <td>R(JP) – 3</td> <td>14 per Ha</td> </tr> <tr> <td>R(JP-SH) – 1</td> <td>10 per Ha</td> </tr> <tr> <td>R(JP-SH) – 2</td> <td>9 per Ha</td> </tr> <tr> <td>R(JP-SH) – 3</td> <td>5 – 27 per Ha</td> </tr> <tr> <td>R(JP-SH) – 4</td> <td>5 – 12 per Ha</td> </tr> <tr> <td>R(HD-SH) – 1</td> <td>12 – 22 per Ha</td> </tr> <tr> <td>R(HD-SH) – 2</td> <td>2 – 10 per Ha</td> </tr> <tr> <td>R(HD-SH) – 3</td> <td>12-22 per Ha</td> </tr> <tr> <td>R(HD) – A</td> <td>17 – 26 per Ha</td> </tr> <tr> <td>R(HD) – B</td> <td>17 – 26 per Ha</td> </tr> <tr> <td>R(HD) – C</td> <td>15 -22 per Ha</td> </tr> <tr> <td>R(HD) – D</td> <td>17 – 26 per Ha</td> </tr> <tr> <td>R(HD) – E</td> <td>25 – 45 per Ha</td> </tr> <tr> <td>R(HD) – F</td> <td>2 – 10 per Ha</td> </tr> <tr> <td>RL – 1, 2, 3</td> <td>2 per Ha</td> </tr> </tbody> </table>	R(JP) – 1	13 – 19 per Ha	R(JP) – 2A	14 – 33 per Ha	R(JP) – 2B	14 – 15 per Ha	R(JP) – 3	14 per Ha	R(JP-SH) – 1	10 per Ha	R(JP-SH) – 2	9 per Ha	R(JP-SH) – 3	5 – 27 per Ha	R(JP-SH) – 4	5 – 12 per Ha	R(HD-SH) – 1	12 – 22 per Ha	R(HD-SH) – 2	2 – 10 per Ha	R(HD-SH) – 3	12-22 per Ha	R(HD) – A	17 – 26 per Ha	R(HD) – B	17 – 26 per Ha	R(HD) – C	15 -22 per Ha	R(HD) – D	17 – 26 per Ha	R(HD) – E	25 – 45 per Ha	R(HD) – F	2 – 10 per Ha	RL – 1, 2, 3	2 per Ha	<p>RD</p> <p>Discretion is restricted to:</p> <ol style="list-style-type: none"> residential amenity values; traffic, access, parking; adequacy of infrastructure.
R(JP) – 1	13 – 19 per Ha																																					
R(JP) – 2A	14 – 33 per Ha																																					
R(JP) – 2B	14 – 15 per Ha																																					
R(JP) – 3	14 per Ha																																					
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R(JP-SH) – 3	5 – 27 per Ha																																					
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R(HD-SH) – 1	12 – 22 per Ha																																					
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Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<p>Density shall be calculated on the net area of land available for development and excludes land vested or held as reserve, open space, public access routes or roading and excludes sites used for non-residential activities. Within the Residential Areas of Hanley Downs, if part of an Activity Area is to be developed or subdivided, compliance must be achieved within that part and measured cumulatively with any preceding subdivision or development which has occurred with that Activity Area. Within the Jacks Point Residential Activity Areas, density shall be calculated and applied to the net area of land across the whole Activity Area, as defined in 41.5.1.1 above.</p>	
	<p>41.5.1.2 Building Height</p> <p>The maximum height of buildings shall be:</p> <ol style="list-style-type: none"> a. Residential (R) Activity Areas 8m b. Rural Living Activity Areas 5m c. All other buildings and structures 4m 	NC
	<p>41.5.1.3 Notwithstanding Rule 41.5.1.2, where</p> <ol style="list-style-type: none"> a. any medium density residential housing development has been consented under Rules 41.4.1.5 or 41.4.1.6; or b. on sites smaller than 380m² created by subdivision; <p>The maximum height of buildings may exceed the maximum height stated in Rule 41.5.1.2, up to a maximum of 3 storeys or 10m (whichever is lesser).</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ol style="list-style-type: none"> a. visual dominance; b. external appearance; c. the scale and extent of building portions that exceed three stories or 10m.
	<p>41.5.1.4 Recession Planes (applicable to flat sites only)</p> <p>Within the R(HD) and R(HD-SH) Activity Areas: In addition to the maximum height of buildings specified under Rule 41.5.1.2, buildings shall comply with the following recession plane requirements:</p> <ol style="list-style-type: none"> a. No part of any building shall protrude through the following recession lines inclined towards the site at. <ol style="list-style-type: none"> i. Northern Boundary: 55 degrees; ii. Western and Eastern Boundaries: 45 degrees; 	<p>RD</p> <p>Discretion is restricted to:</p> <ol style="list-style-type: none"> a. privacy effects; b. access to sunlight and the impacts of shading; c. effects upon access to views of significance; d. visual dominance and external appearance.

Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<p>iii. Southern Boundaries: 35 degrees; Commencing at:</p> <p>iv. 3.5m above ground level at any given point along any internal site boundary up to a distance of 12m from a rear internal boundary; and</p> <p>v. 2.5m above ground level at any given point along any internal site boundary within 12m of a rear internal boundary or any internal site boundary of a rear site;</p> <p>Except that within the Residential Hanley Downs (R (HD)) Activity areas, this rule shall not apply to:</p> <p>i. Sites smaller than 380m² created by subdivision;</p> <p>ii. A medium density residential development consented under Rule 41.4.1.5;</p> <p>b. In addition to a. above and notwithstanding the height limit of accessory buildings imposed by Rule 41.5.18(i), the maximum height of any part of a building located within 2m of an internal boundary is 4m.</p> <p>c. Application of recession line rules – clarification:</p> <p>i. Gable end roofs may penetrate the building recession plane by no more than one third of the gable height;</p> <p>d. A recession line restriction shall not apply to accessory buildings nor common walls shared at a boundary and parts of buildings that do not extend beyond the length of that wall.</p> <p>Advice Notes: Refer to Definitions for detail of the interpretation of recession planes, rear sites, and flat sites.</p> <p>For corner sites, being sites that have a frontage to more than one road, the shortest internal site boundary shall be considered the rear internal boundary.</p>	
	<p>Window Sill Heights</p> <p>41.5.1.5 Within the R(HD) and the R(HD-SH) Activity Areas, window sill heights above the first storey shall not be set lower than 1.5m above</p>	<p>RD</p> <p>Discretion is restricted to:</p>

Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<p>the floor level where the external face of the window is within 4m of an internal site boundary, except where buildings face reserves or where opaque glass is used for windows.</p>	<p>a. privacy effects.</p>
	<p>41.5.1.6 Building Coverage</p> <p>a. on any site within the R(JP), R(JP-SH) Activity Areas, buildings shall not exceed a maximum site coverage of 45%; and</p> <p>b. (on any site within the R(HD) and R(HD-SH) Activity Areas, buildings shall not exceed a maximum site coverage of 50%.</p> <p>Except that:</p> <p>Residential activity in the R(JP), R(JP-SH), R(HD), and R(HD-SH) Activity Areas consented under Rule 41.4.6 (medium density residential development) or under Rule 27.7.5.2 or 27.5.5, shall not exceed a maximum site coverage of 60%.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. urban design;</p> <p>b. effects on amenity values for neighbours;</p> <p>c. the character of the Activity Area;</p> <p>d. stormwater management.</p>
	<p>41.5.1.7 Building Setbacks (except in the Residential Hanley Downs area)</p> <p>Buildings for all activities, except for buildings located on sites created pursuant to subdivision Rules 27.5.18, shall be subject to the following minimum setback rules:</p> <p>a. two setbacks of 4.5m, with all remaining setbacks of 2m; or</p> <p>b. one setback of 6m, one setback of 3.5m and all other setbacks of 2m;</p> <p>Except that:</p> <p>i. any residential unit may encroach into a setback by up to 1m for an area no greater than 6m² provided the component of the building infringing the setback has no windows or openings;</p> <p>ii. accessory buildings for residential activities, including garages, may encroach into the setback where they are no more than 3.5m in height and where no windows or openings are orientated toward an internal boundary;</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. bulk, height and proximity of the building façade to the boundary;</p> <p>b. the impact on neighbours' amenity values;</p> <p>c. loss of daylight;</p> <p>d. access to sunlight.</p>

Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<p>iii. no setbacks are required when buildings share a common wall at the boundary.</p>	
	<p>41.5.1.8</p> <p>a. In the Residential (Hanley Downs) Activity Areas, buildings for all activities, except for buildings located on sites smaller than 380m² and created pursuant to subdivision Rule 27.7.5.2, shall be subject to the following minimum setback rules:</p> <ul style="list-style-type: none"> i. one internal setback of 3m; ii. a road set back of at least 3m, provided that any garage is set back at least 4.5m from the road boundary; iii. for sites fronting a single road and with a frontage exceeding 12.5m, one internal setback of 1.5m from an internal boundary that intersects with a road boundary; and iv. all remaining internal setbacks of 1m; and all remaining internal setbacks on rear sites of 1.5m. <p>Except that:</p> <ul style="list-style-type: none"> i. Accessory buildings for residential activities, including garages, may encroach into any 1m internal setback described in 41.5.1.8(a)(iv) where the buildings are no more than 3.5m in height and where no windows or openings are orientated toward an internal boundary; ii. The eaves of any residential unit may encroach into the setback by no more than 400mm; iii. No setbacks are required when buildings share a common wall at the boundary. 	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. bulk, height and proximity of the building façade to the boundary; b. the impact on neighbours' amenity values; c. shading and access to sunlight.
	<p>Retail Activities</p> <p>41.5.1.9 Retail activities within the R(HD) Activity Areas shall be located within 120 metres of the Primary Road shown on the Structure Plan or within 120 metres of its final formed location.</p>	<p>NC</p>
	<p>41.5.1.10 The total gross floor area of all commercial activities, excluding associated car parking, in the R(HD)A - E Activity Areas shall not exceed 550m² across all Activity Areas.</p>	<p>NC</p>
	<p>State Highway Noise</p>	<p>RD</p>

Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<p>41.5.1.11 Any residential activities located within 80 m of the seal edge of State Highway 6, shall be designed and constructed to meet noise performance standards for noise from traffic on the State Highway that will not exceed 35dBA Leq(24 hour) in bedrooms and 40 dBA (Leq (24 hour) for other habitable rooms in accordance with the satisfactory sound levels recommended by Australian and New Zealand Standard AS/NZ2107:2000 Acoustics Recommended design sound levels and reverberation times for building interiors.</p>	<p>Discretion is restricted to:</p> <p>a. residents' health and residential amenity.</p>
	<p>Planting – Jacks Point Residential Activity Areas</p> <p>41.5.1.12 On any site within a Residential Jacks Point R (JP) Activity Area at least 75% of all trees and shrubs planted shall be from the species identified on the Jacks Point plant list contained within Part 41.8. Percentages are in terms of overall plant numbers.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. any effects on nature conservation values;</p> <p>b. effects on landscape character and visual amenity.</p>
	<p>41.5.1.13 Residential Visitor Accommodation</p> <p>41.5.1.13.1 Must be limited to one residential unit or residential flat per site not exceeding a cumulative total of 42 nights occupation by paying guests on a site per 12 month period.</p> <p>41.5.1.13.2 Must not generate any vehicle movements by heavy vehicles, coaches or buses to and from the site.</p> <p>41.5.1.13.3 Must comply with the minimum parking requirements for a residential unit and/or residential flat (whichever is used for the residential visitor accommodation activity) in Chapter 29 Transport.</p> <p>41.5.1.13.4 The Council must be notified in writing prior to the commencement of a Residential Visitor Accommodation activity.</p> <p>41.5.1.13.5 Up to date records of the Residential Visitor Accommodation activity must be kept, including a record of the date and duration of guest stays and the number of guests staying per night, and in a form that can be made available for inspection by the Council at 24 hours' notice.</p> <p>41.5.1.13.6 Smoke alarms must be provided in accordance with clause 5 of the Residential</p>	<p>D</p>

Table 6	Standards for activities located in the Jacks Point Zone - Residential Activity Areas	Non-compliance Status
	<p>Tenancies (Smoke Alarms and Insulation) Regulations 2016.</p> <p>Note: The Council may request that records are made available to the Council for inspection at 24 hours' notice, in order to monitor compliance with rules 41.5.1.13.1 to 41.5.1.13.6.</p>	
	<p>41.5.1.14 Homestay</p> <p>41.5.1.14.1 May occur within either an occupied residential unit or an occupied residential flat on a site, and must not occur within both on a site.</p> <p>41.5.1.14.2 Must not exceed 3 paying guests on a site per night.</p> <p>41.5.1.14.3 Must comply with minimum parking requirements of standard 29.8.9 in Chapter 29 Transport.</p> <p>41.5.1.14.4 Must not generate any vehicle movements by heavy vehicles, coaches or buses to and from the site.</p> <p>41.5.1.14.5 The Council must be notified in writing prior to the commencement of a Homestay activity.</p> <p>41.5.1.14.6 Up to date records of the Homestay activity must be kept, including a record of the number of guests staying per night, and in a form that can be made available for inspection by the Council at 24 hours' notice.</p> <p>Note: The Council may request that records are made available to the Council for inspection at 24 hours' notice, in order to monitor compliance with rules 41.5.1.14.1 to 41.5.1.14.6.</p>	D

Table 7	Standards for activities located in the Jacks Point Zone - Village and Education Activity Areas	Non-compliance Status
41.5.2	Village and Education Activity Areas	
	<p>41.5.2.1 Scale of Commercial Activity</p> <p>The maximum net floor area for any single commercial activity (as defined in chapter 2) shall be 200m², except within the Mixed-Use Precinct (M-9) of the V(JP) Activity Area.</p>	D

Table 7	Standards for activities located in the Jacks Point Zone – Village and Education Activity Areas	Non-compliance Status
	<p>41.5.2.2 Within the Mixed-Use Precinct (M-9) of the V(JP) Activity Area commercial activity shall be restricted to retailing</p> <p>For the purpose of Rule 41.5.2.1 and 41.5.2.2, commercial activities are as defined in Chapter 2, but excludes markets, showrooms, professional, commercial and administrative offices, service stations, and motor vehicle sales.</p>	
	<p>Building Coverage</p> <p>On any site within the (E) Activity Area, buildings shall not exceed a maximum site coverage of 45%.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. urban design;</p> <p>b. effects on amenity values for neighbours (particularly in adjoining residential activity areas) and the character of the (E) Activity Area;</p> <p>c. stormwater management.</p>
	<p>41.5.2.3 Within the Jacks Point Village JP(V) Activity Area the maximum building coverage, calculated across the total Activity Area, shall not exceed 60%.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. urban design;</p> <p>b. effects on amenity values for neighbours and the character of the Activity Area;</p> <p>c. stormwater management.</p>
	<p>Building coverage in the Homestead Bay Village</p> <p>41.5.2.4 Within the Homestead Bay V(HB) Activity Area, the maximum building coverage, calculated across the total Activity Area, shall not exceed 60%.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. urban design;</p> <p>b. effects on amenity values for neighbours and the character of the Activity Area;</p> <p>c. stormwater management.</p>
	<p>Building Height</p> <p>41.5.2.5 The maximum height of buildings shall be:</p>	<p>NC</p>

Table 7	Standards for activities located in the Jacks Point Zone – Village and Education Activity Areas	Non-compliance Status
	<ul style="list-style-type: none"> a. Homestead Bay Village (V-HB) Activity Area 10m b. Jacks Point Village (V-JP) Activity Area 12m and comprising no more than 3 storeys c. Education Precinct (E) Activity Area 10m d. all other buildings and structures 4m 	
	<p>Residential Units</p> <p>41.5.2.6 In the V(HB) Activity Area, no residential units may be constructed until 80% of the freehold land within the Open Space Foreshore Activity Area has been planted with native endemic species</p>	NC

Table 8	Standards for activities located in the Jacks Point Zone – Lodge Activity Area	Non-compliance Status
41.5.3	Lodge Activity Areas	
	<p>Building Setback</p> <p>41.5.3.1 In Lodge Activity Area denoted as L(P) on the Structure Plan, buildings and structures shall be set back a minimum of 10m from the activity area boundary.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. the outdoor car parking areas with respect to the effects on visual and landscape values; b. the effectiveness of mounding and planting at screening buildings and car parking and the shape and design of earthworks, including their relationship to existing landforms.
	<p>Building Height</p> <p>41.5.3.2 In the Lodge (L) Activity Areas, the maximum height of any building shall be 5.0m.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ul style="list-style-type: none"> a. visual dominance; b. external appearance; c. the scale and extent of the portions that exceed 5m.
	41.5.3.3 In the Lodge (L) Activity Area, the maximum height of any building shall be 7.5m.	NC

Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status																																								
41.5.4	Open Space (OS) and Homesite (HS) Activity Areas																																									
	<p>41.5.4.1 Boundaries of Open Space Activity Areas</p> <p>The boundaries of Open Space Activity Areas are shown indicatively and may be varied by up to 20m and the exact location and parameters are to be established through the subdivision process. Development prior to such subdivision occurring, which would preclude the creation of these open spaces, shall be contrary to this rule.</p>	D																																								
	<p>Open Space - Subdivision</p> <p>41.5.4.2 Within any open space area created by subdivision, in accordance with (Rules 41.5.4.1 and 27.7.5.1), there shall be no building.</p>	D																																								
	<p>Building Coverage – Homesite (HS) Activity Area</p> <p>41.5.4.3 Within any Homesite (HS) Activity Area, buildings shall not exceed a total building footprint of 1,000m² within each homesite.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <ol style="list-style-type: none"> the external appearance of buildings with respect to the effect on visual and landscape values of the area.; associated earthworks and landscaping; bulk and location; visibility of the building from State Highway 6 and Lake Wakatipu. 																																								
	<p>Building height relative to ground level – Homesite (HS) Activity Area</p> <p>41.5.4.4 The maximum height for any building shall be 5m above the datum level specified for each Homesite, as follows:</p> <table border="0" data-bbox="478 1792 1037 2105"> <thead> <tr> <th>Homesite</th> <th>Datum (mas)</th> <th>Homesite</th> <th>Datum (mas)</th> </tr> </thead> <tbody> <tr> <td>HS1</td> <td>372.0</td> <td>HS29</td> <td>385.5</td> </tr> <tr> <td>HS2</td> <td>381.0</td> <td>HS30</td> <td>395.9</td> </tr> <tr> <td>HS3</td> <td>381.0</td> <td>HS31</td> <td>393.7</td> </tr> <tr> <td>HS4</td> <td>377.0</td> <td>HS32</td> <td>384.8</td> </tr> <tr> <td>HS5</td> <td>388.0</td> <td>HS33</td> <td>385.8</td> </tr> <tr> <td>HS6</td> <td>382.0</td> <td>HS34</td> <td>399.0</td> </tr> <tr> <td>HS7</td> <td>379.0</td> <td>HS35</td> <td>405.0</td> </tr> <tr> <td>HS8</td> <td>386.5</td> <td>HS36</td> <td>400.3</td> </tr> <tr> <td>HS9</td> <td>389.0</td> <td>HS38</td> <td>398.3</td> </tr> </tbody> </table>	Homesite	Datum (mas)	Homesite	Datum (mas)	HS1	372.0	HS29	385.5	HS2	381.0	HS30	395.9	HS3	381.0	HS31	393.7	HS4	377.0	HS32	384.8	HS5	388.0	HS33	385.8	HS6	382.0	HS34	399.0	HS7	379.0	HS35	405.0	HS8	386.5	HS36	400.3	HS9	389.0	HS38	398.3	NC
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HS17	394.5	HS46	356.2																																																																											
HS18	392.5	HS47	376.6																																																																											
HS19	372.0	HS48	357.0																																																																											
HS20	377.2	HS49	367.0																																																																											
HS21	372.5	HS50	364.0																																																																											
HS22	374.0	HS51	387.0																																																																											
HS23	371.5	HS52	366.9																																																																											
HS24	372.4	HS53	381.3																																																																											
HS25	373.0	HS54	351.6																																																																											
HS26	378.1	HS55	351.1																																																																											
HS27	388.0	HS56	352.2																																																																											
HS28	392.6	HS58	506.0																																																																											
	<p>41.5.4.5 Building within any Homesite where a requirement to comply with the Preserve Design Guidelines has not been registered on the title for the Site.</p> <p>Discretion is restricted to the matters of discretion listed in 41.4.4.17.</p>	RD																																																																												
	<p>41.5.4.6 The formation of any vehicle accessway to Homesite Activity Area HS₅₈ shall not:</p> <ol style="list-style-type: none"> Within Section (S1) exceed 3m in carriageway width and shall not include the passing bays; Within Sections (S2) and (S3) exceed 3m in carriageway width, except to provide for passing bays; Within all Sections (S1 - S3) be formed in any other surface than a loose gravel finish and shall not include lighting. 	RD Discretion is restricted to: a. Visual impacts; b. Landscape character.																																																																												
	<p>Revegetation – Homesite (HS) Activity Area</p> <p>41.5.4.7 No buildings shall be erected within a Homesite (HS) Activity Area unless and until an area as specified within this rule has been re-vegetated with native vegetation. The area required to be re-vegetated for the purposes of this rule shall be the greater of 3,000m² or 20 per cent of the area of the lot or title within which the Homesite (HS) Activity Area is situated, whichever is greater. For the purposes of this rule no account shall be taken of any native vegetation existing at the date of application for</p>	D																																																																												

Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status
	<p>subdivision consent to create the lot or title within which the Homesite (HS) Activity Area is located.</p> <p>41.5.4.8 Within the area of the Site containing Homesite Activity Areas HS₃₈ to HS₅₆, development shall provide for implementation of the Vegetation Management Strategy established through Rule 27.7.5.4, prior to the occupation of any residential unit.</p>	NC
	<p>Building Height</p> <p>41.5.4.9 The maximum height of buildings shall be:</p> <p>a. Homesite Activity Area 5 m</p> <p>b. all other buildings and structures 4 m</p>	NC
	<p>Residential Units</p> <p>41.5.4.10 In the OSH, OSR, and OS Activity Areas, no residential units may be constructed until 80% of the freehold land within the Open Space Foreshore Activity Area has been planted with native endemic species.</p>	NC
	<p>Standards for Building</p> <p>41.5.4.11 Within the Open Space - Horticultural (OSH) Activity Area:</p> <p>a. there shall be no more than 15 building platforms;</p> <p>b. those 15 building platforms referred to in (a) above are confined to 3 or 4 clusters; and</p> <p>c. no building is to be erected prior to the horticultural activity being planted.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. the external appearance of buildings with respect to the effect on visual and landscape values of the area;</p> <p>b. associated earthworks and landscaping;</p> <p>c. bulk and location;</p> <p>d. visibility of the building from State Highway 6 and Lake Wakatipu.</p>
	<p>Farm buildings within the Open Space Landscape (OSL) Activity Area and not within a Landscape Protection Area</p> <p>41.5.4.12 The construction, replacement or extension of a farm building within the Open Space Landscape Activity Area shall meet the following standards:</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. the extent to which the scale and location of the farm building is appropriate in terms of:</p> <p>i. rural amenity values;</p>

Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status
	<ul style="list-style-type: none"> a. the landholding the farm building shall be located within is greater than 100 ha; and b. the density of all buildings on the landholding site, inclusive of the proposed building(s) does not exceed one farm building per 50 hectares on the site; and c. the farm building shall be less than 5m in height and the ground floor area shall be no greater than 300m²; and d. farm buildings shall not protrude onto a skyline or above a terrace edge when viewed from adjoining sites, or formed roads within 2km of the location of the proposed building. 	<ul style="list-style-type: none"> ii. landscape character; iii. privacy, outlook, and rural amenity from adjoining properties; iv. visibility, including lighting; v. scale; vi. location.
	<p>Planting and Cultivation – Landscape Protection and Tablelands Areas</p> <p>41.5.4.13 Within the Highway Landscape Protection Area (refer Structure Plan 41.7) the planting and/or growing of any tree shall not obscure views from the State Highway to the mountain peaks beyond the zone.</p>	D
	<p>41.5.4.14 Within the Peninsula Hill Landscape Protection Area (refer Structure Plan 41 7) the planting and/or cultivation of any tree or shrub shall be indigenous and characteristic of the Peninsula Hill escarpment (i.e. grey shrubland and tussock grassland on exposed sites and beech forest on sheltered sites).</p>	D
	<p>41.5.4.15 Within the Lakeshore Landscape Protection Area (refer Structure Plan 41.7) the planting and/or cultivation of any tree or shrub shall be indigenous and characteristic of the Lake Wakatipu foreshore (i.e. broadleaf forest, grey shrubland and tussock grassland plant communities).</p>	D
	<p>41.5.4.16 Within the Tablelands Area (refer Structure Plan 41.7), there shall be no exotic vegetation planted and/or cultivated, with the exception of:</p> <ul style="list-style-type: none"> a. grass species if local and characteristic of the area; and b. other vegetation if it is: <ul style="list-style-type: none"> i. less than 0.5 metres in height; and 	D

Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status
	<ul style="list-style-type: none"> ii. less than 20 square metres in area; and within 10 metres of a building; and iii. intended for domestic consumption. 	
	41.5.4.17 Within the OSR Activity Area, at least 50% of any site shall be planted in native vegetation, prior to building.	RD Discretion is restricted to any effects on nature conservation values.
	<p>Open Space Wetlands (OSW) Activity Area</p> <p>41.5.4.18 There shall be no development or landscaping, within 7 metres of any wetland located within a Wetland Activity area identified on the Structure Plan, except to enable development of pedestrian access (including boardwalks), the erection of fences to control stock or other structures related to the protection of these areas, or to undertake ecological enhancement, including the removal of plant pests.</p>	NC
	<p>Fencing</p> <p>41.5.4.19 There shall be no fences or walls within the boundary of any lot or title within the Tablelands Landscape Protection Area (refer Structure Plan) outside of any Homesite (HS) Activity Area or approved building platform, except for fencing between stock managed areas and areas retired from stock and for the purpose of demarcating private land from land accessible to the public as a result of the creation of public walkways additional to those walkways identified as “Public Access Route” on the Structure Plan. Any such fencing shall be post and wire only.</p>	D
	<p>Temporary and Permanent Storage of Vehicles</p> <p>41.5.4.20 Within the Tablelands Landscape Protection Area (refer Structure Plan), but excluding the Homesite (HS) Activity Areas, there shall be no temporary or permanent siting of:</p> <ul style="list-style-type: none"> a. motor vehicles, trailers, caravans, boats or similar objects; 	NC

Table 9	Standards for activities located in the Jacks Point Zone – Open Space and Homesite Activity Areas	Non-compliance Status
	<p>b. storage containers, workshops, offices, sheds, huts or similar structures (other than public toilets and shelter); and</p> <p>c. scaffolding or similar construction materials.</p> <p>Except for temporary filming towers erected during an event and for no more than 7 days either side of an event.</p>	

Table 10	Standards for activities located in the Jacks Point Zone – Zone Wide Standards	Non-compliance Status
41.5.5	General Zone Wide Standards	
	<p>Structure Plan</p> <p>41.5.5.1 Development shall be undertaken in general accordance with the Structure Plan in Part 41.7. For the purposes of interpreting this rule, the following shall apply:</p> <p>a. a variance of up to 120m from the location and alignment shown on the Structure Plan of the Primary Roads, and their intersections with State Highway 6, shall be acceptable;</p> <p>b. Public Access Routes and Secondary Roads, except as provided for in d. below, may be otherwise located and follow different alignments provided that any such alignment enables a similar journey;</p> <p>c. development shall facilitate a road connection at each Key Road Connection shown on the Structure Plan to enable vehicular access to roads which connect with the Primary Roads, provided that a variance of up to 50m from the location of the connection shown on the Structure Plan shall be acceptable;</p> <p>d. The following variances in the alignment of the secondary road access to Homesite HS58 shall be acceptable:</p> <p>i. Section 1 (S1) shall be aligned along the existing farm track with no variance allowed;</p>	D

	<p>ii. Section 2 (S2) shall be aligned within 5m of the identified access;</p> <p>iii. Section 3 (S3) shall be aligned within 20m of the identified access.</p>	
	<p>Setbacks from the zone boundary</p> <p>41.5.5.2 Buildings or structures shall be set back a minimum of 20m from the zone boundary, except this rule shall not apply to the Boating Facilities (BFA) Activity Area.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. bulk, height and proximity of the building facade to the boundary;</p> <p>b. the impact on neighbours amenity values;</p> <p>c. shading and access to sunlight.</p>
	<p>Access to the State Highway</p> <p>41.5.5.3 Access from State Highway 6 shall be only at the intersections at Maori Jack Road, and Woolshed Road and in a third location as approved by RM160562, as shown on the Structure Plan.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. the safe and efficient functioning of the road network.</p>
	<p>41.5.5.4 The scale of use of the Woolshed Road access shall not increase until an amended design for that road's intersection with State Highway 6 has been upgraded, completed and available for use, except as provided for through the approval of a Traffic Management Plan by the NZ Transport Agency (refer Advisory Note below).</p> <p>Advice Notes:</p> <p>a. a 'Traffic Management Plan' is required to be submitted to the NZ Transport Agency from any person/s using Woolshed Road in relation to construction within the Jacks Point Resort Zone;</p> <p>b. the upgrade of the intersection of Woolshed Road and State Highway 6 will require approval from the NZ Transport Agency.</p>	<p>RD</p> <p>Discretion is restricted to:</p> <p>a. the safe and efficient functioning of the road network.</p>
	<p>Building Colours</p> <p>41.5.5.5 Any building shall result in:</p> <p>a. at least 70% of the total painted or galvanised external surface of buildings</p>	<p>D</p>

	<p>(excluding roofs and windows) with a reflectance value of between 0 and 35% ;</p> <p>b. roof colours with a light reflectance value of 20% or less, and in the range of browns, greys and black;</p> <p>c. All external surfaces within Homesites HS38 - HS58, shall have a reflectance value of between 0 and 30% and also be in the range of browns, greys, and green</p>	
	<p>Glare</p> <p>41.5.5.6 All fixed lighting shall be directed away from adjacent roads and properties.</p>	NC
	<p>41.5.5.7 No activity shall result in a greater than 3.0 lux spill, horizontal and vertical, of light onto any property located outside of the Zone, measured at any point inside the boundary of the adjoining property.</p>	NC
	<p>Outside storage and non-residential activities</p> <p>41.5.5.8 In relation to non-residential activities, no goods, materials or equipment shall be stored outside a building, except for vehicles associated with the activity parked on the site overnight.</p>	NC
	<p>41.5.5.9 All manufacturing, altering, repairing, dismantling or processing of any materials, goods or articles shall be carried out within a building except in relation to farming.</p> <p>Except within the Village Activity Areas, where outside storage and activities are permitted.</p>	NC
	<p>Servicing</p> <p>41.5.5.10 All dwellings shall connect to reticulated infrastructure for the provision of a water supply, wastewater disposal, power and telecommunications.</p> <p>(Except this Standard shall not apply within any Homesite Activity Area)</p> <p>41.5.5.11 All services, with the exception of stormwater systems, shall be reticulated underground.</p>	NC

41.6 Rules - Non-Notification of Applications

41.6.1 Any application for resource consent for a controlled activity shall not require the written approval of other persons and shall not be notified.

41.6.2 Any application for the following activities shall not require the written approval of other persons and shall not be notified.

- a. Rules 41.4.3.3 and 41.4.3.5 Buildings and tennis courts (including the addition to or construction of buildings) within the Lodge (L) Activity Areas.

41.6.3 Any application for resource consent for the following restricted discretionary activities shall be considered without public notification but notice shall be served on those persons considered to be adversely affected if written approval has not been obtained.

- a. Rule 41.4.1.8 Commercial activities, community and visitor accommodation.
- b. Rule 41.4.5.1 Sale of Liquor.
- c. Rule 41.5.1.7 Setbacks from Roads and Internal Boundaries.
- d. Rules 41.5.5.3 and 41.5.5.4 Access to the State Highway.

41.7 Structure Plan Refer to Consent Order: <https://www.qldc.govt.nz/media/ijqeizuk/2020-05-21-consent-order-topic-22-jacks-point.pdf>

Jacks Point Resort Zone Structure Plan

LEGEND

-  Outstanding Natural Landscape Line
-  Activity Area
-  Public Access Route (location indicative)
-  Secondary Road Access (location indicative)
-  Primary Road Access (location indicative)
-  Key Road Connections (location indicative)
-  State Highway Mitigation

OVERLAYS

-  Highway Landscape Protection Area
-  Peninsula Hill Landscape Protection Area
-  Lake Shore Landscape Protection Area
-  Tablelands Landscape Protection Area

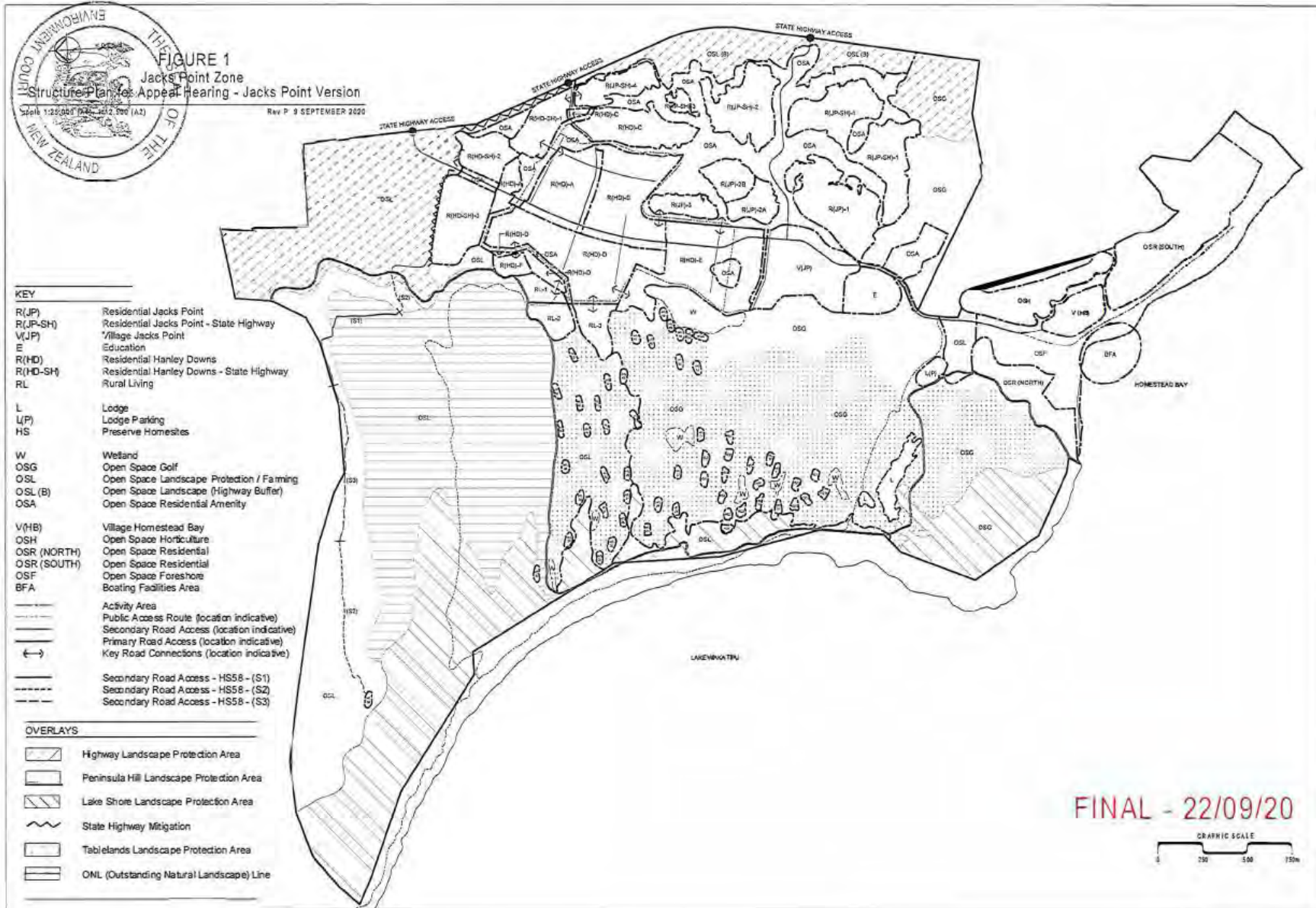
KEY

- R(JP) Residential Jacks Point Activity Areas
- R(HD) Residential Hanley Downs Activity Areas
- R(JP-SH) Residential Jacks Point - State Highway Activity Areas
- R(HD-SH) Residential Hanley Downs - State Highway Activity Areas
- RL Rural Living Activity Area
- V(JP) Village Jacks Point Activity Area
- V(HB) Village Homestead Bay Activity Area
- E Education Activity Area
- OSG Open Space Golf Activity Area
- OSL Open Space Landscape Activity Area
- OSA Open Space Residential Activity Area
- OS(W) Open Space Wetland Activity Area
- OSH Open Space Horticulture Activity Area
- OSR Open Space Residential Activity Areas
- OSF Open Space Foreshore Activity Area
- OS(BFA) Open Space Boating Facilities Area
- L Lodge Activity Area

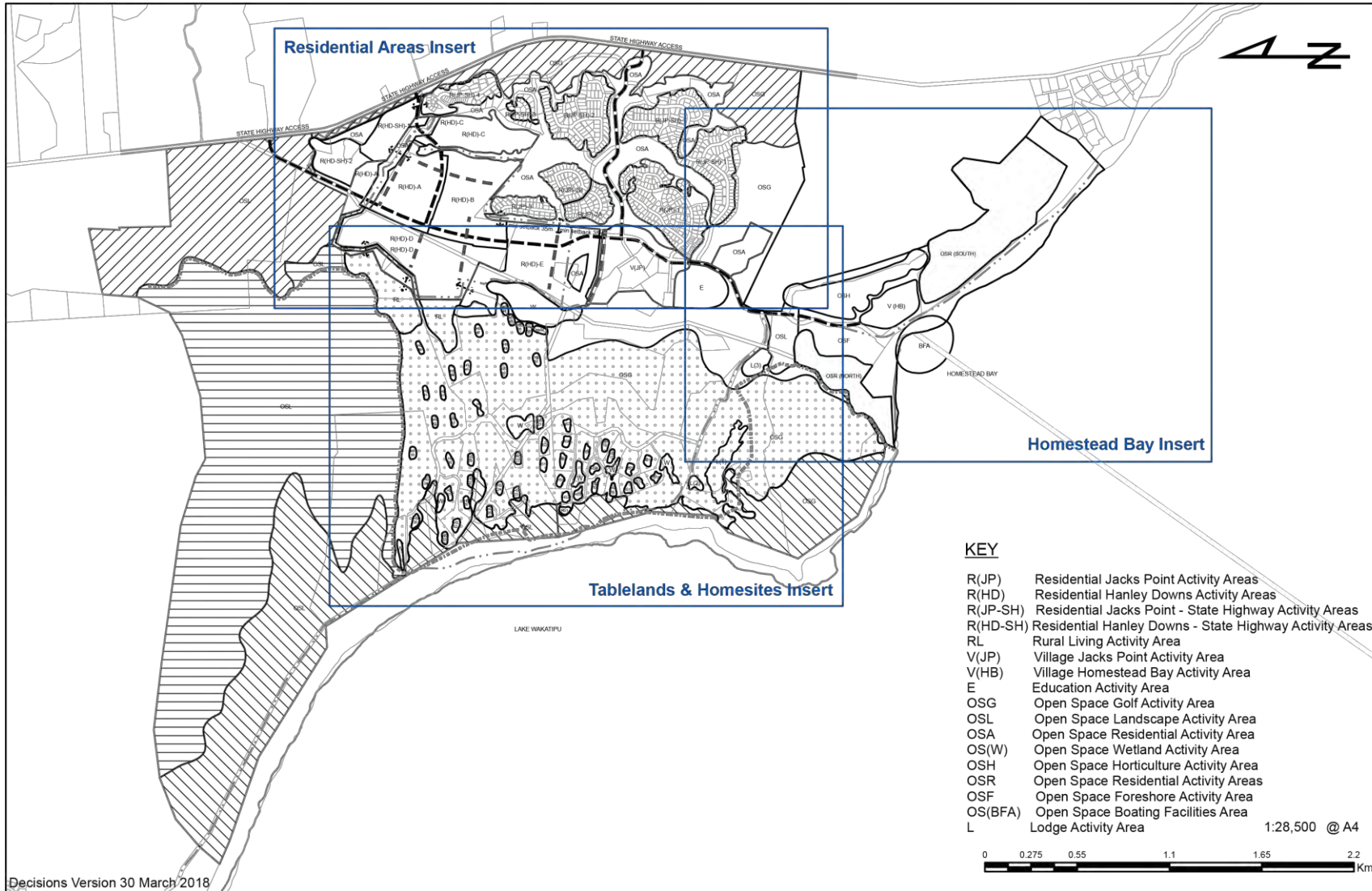
Decisions Version 30 March 2018

PART 6

JACKS POINT 41

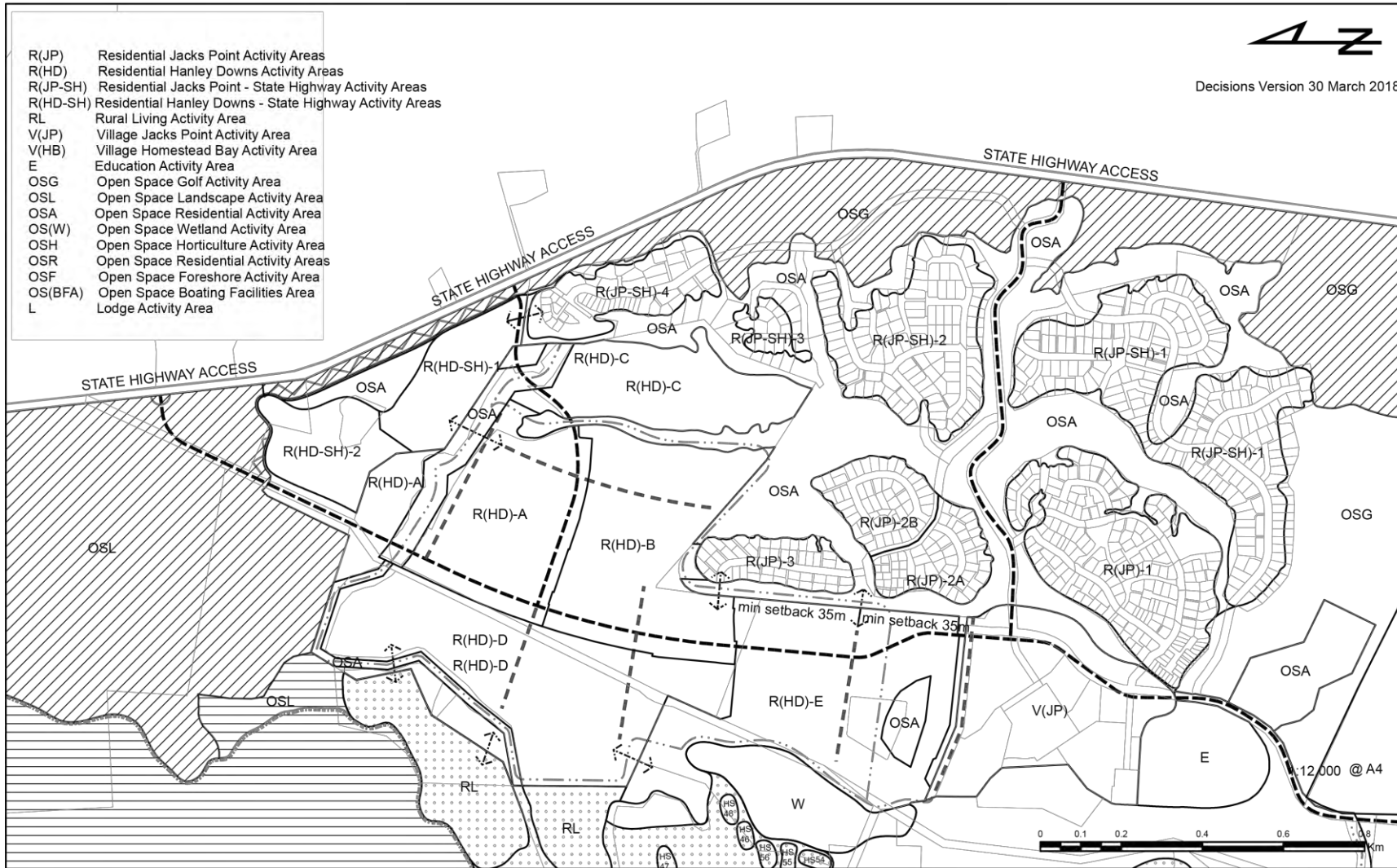


Jacks Point Resort Zone Structure Plan



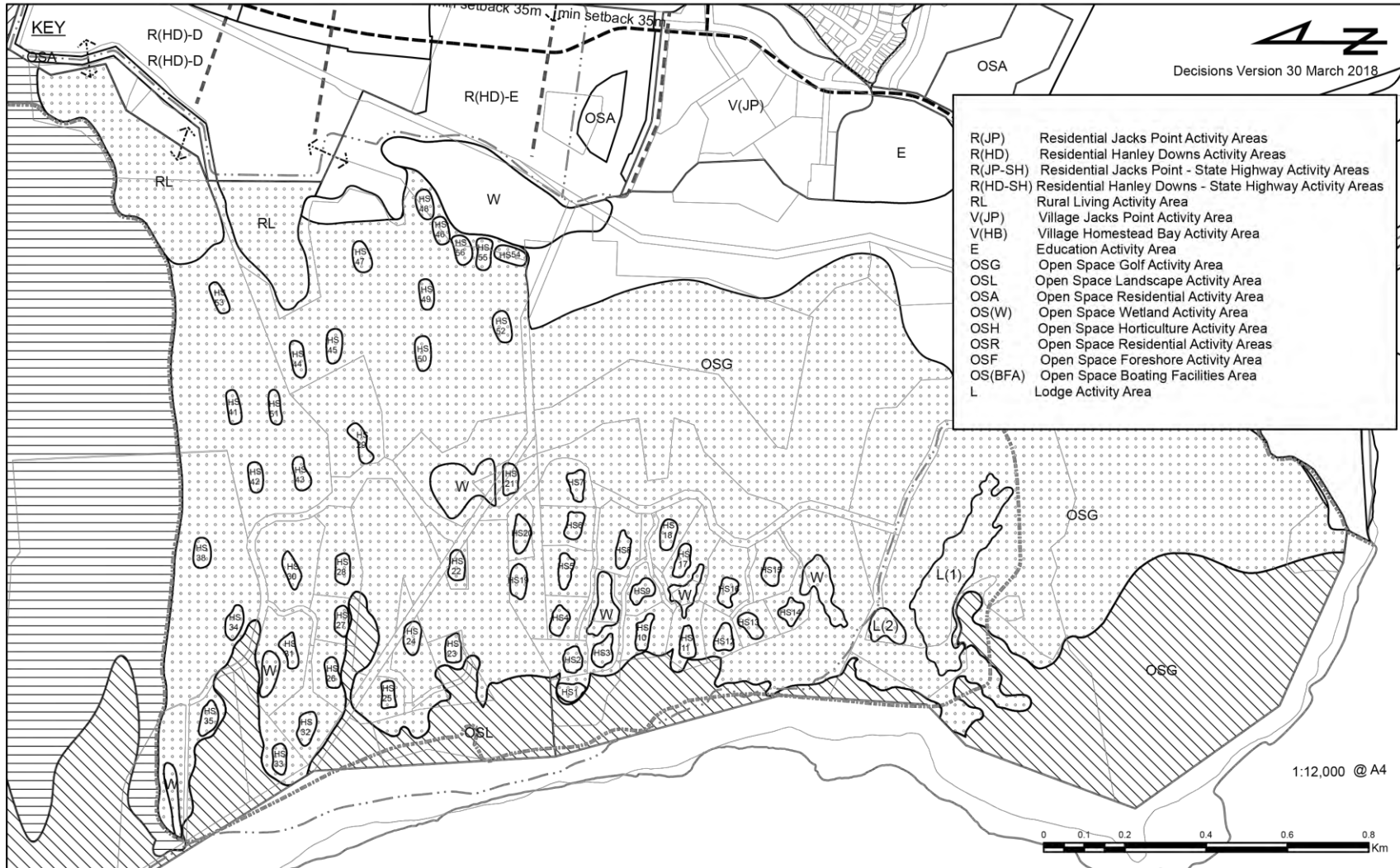
JACKS POINT 41

Jacks Point Resort Zone Structure Plan Residential Areas Insert

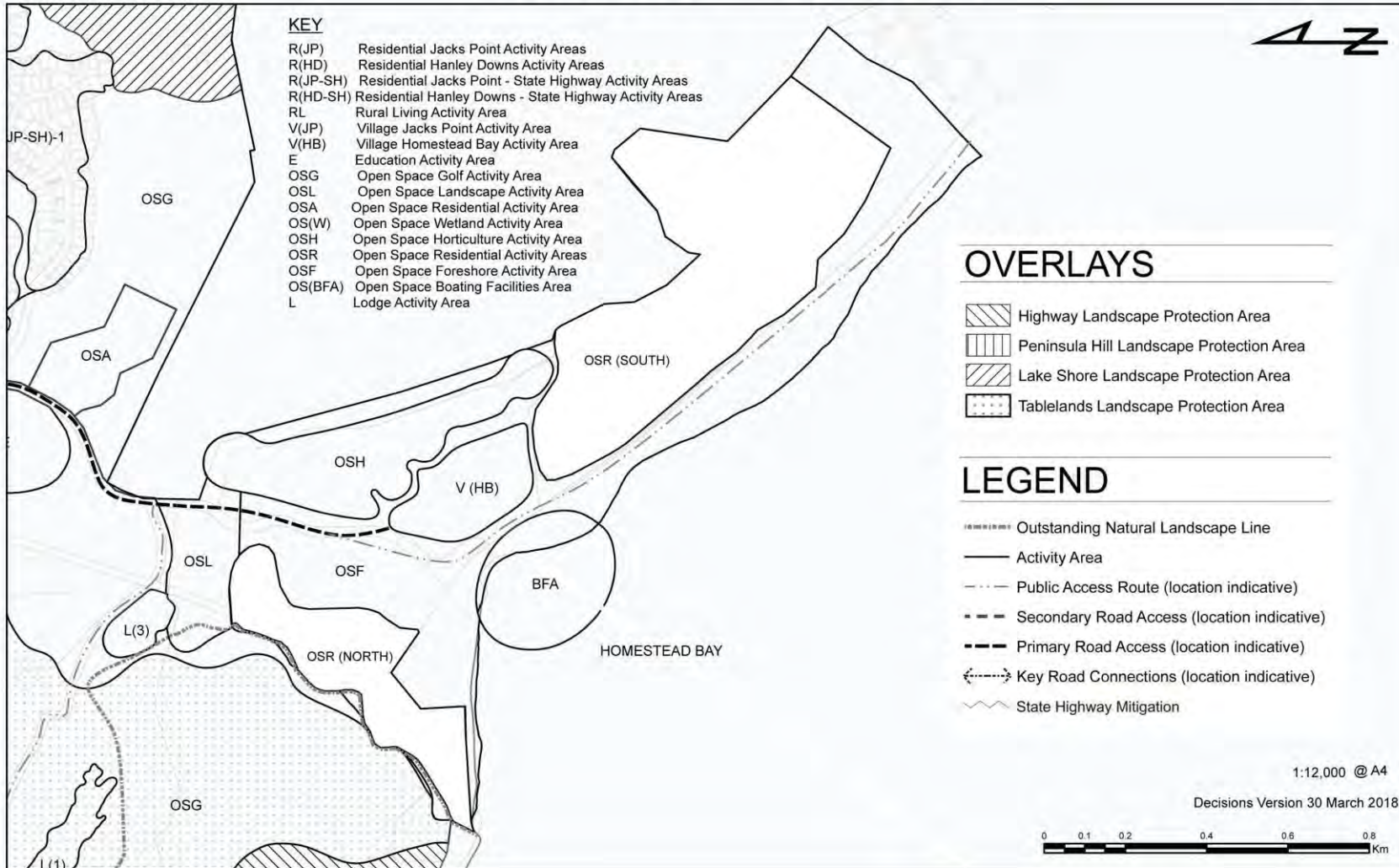


JACKS POINT 41

Jacks Point Resort Zone Structure Plan Tablelands & Homesites Insert



Jacks Point Resort Zone Structure Plan
Homestead Bay Insert



41.8 Jacks Point Plant List

Trees

Botanical Name	Common Name	Sun	Mid Sun	Shade	Moist	Dry	Sheltered	Exposed
<i>Aristotelia serrata</i>	Wineberry	x	x		x	x		x
<i>Carpodetus serratus</i>	Putaputaweta / marbleleaf	x	x		x		x	
<i>Coprosma linariifolia</i>	Mikimiki	x	x		x	x		x
<i>Cordyline australis</i>	Ti kouka / cabbage tree	x	x		x	x		x
<i>Fuchsia excorticata</i>	Kotukutuku / tree fuchsia		x		x		x	
<i>Elaeocarpus hookerianus</i>	Pokaka		x		x		x	
<i>Griselinia littoralis</i>	Kapuka / broadleaf	x	x		x	x		x
<i>Hoheria lyallii</i>	Mountain ribbonwood	x			x			x
<i>Melicytus lanceolatus</i>	Mahoe wao	x	x		x		x	
<i>Melicytus ramiflorus</i>	Mahoe / whiteywood	x	x		x	x		x
<i>Metrosideros umbellata</i>	Southern rata	x	x		x	x		x
<i>Myrsine australis</i>	Mapou	x	x	x	x	x		x
<i>Nothofagus fusca</i>	Red beech	x	x		x	x	x	
<i>Nothofagus solandri</i> var. <i>cliffortioides</i>	Mountain beech	x	x		x	x	x	
<i>Pennantia corymbosa</i>	Kaikomako	x	x		x	x		x
<i>Pittosporum eugeniioides</i>	Tarata / lemonwood	x	x		x	x		x
<i>Pittosporum tenuifolium</i>	Kohuhu	x	x		x	x		x
<i>Podocarpus hallii</i>	Hall's Totara	x	x		x	x		x
<i>Prumnopitys taxifolia</i>	Matai		x	x	x	x	x	
<i>Pseudopanax crassifolius</i>	Lancewood	x	x		x	x		x
<i>Sophora microphylla</i>	Kowhai	x	x		x	x	x	

Shrubs

Botanical Name	Common Name	Sun	Mid Sun	Shade	Moist	Dry	Sheltered	Exposed
<i>Aristotelia fruticosa</i>	Mountain wineberry	x			x			x
<i>Carmichaelia petriei</i>	NZ broom	x	x	x	x			x
<i>Coprosma crassifolia</i>	NZ Coprosma	x	x		x	x		x
<i>Coprosma lucida</i>	Shining Karamu		x	x	x	x		x
<i>Coprosma propinqua</i>	Mingimingi	x			x	x		x
<i>Coprosma rugosa</i>	Needle-leaved Mt Coprosma	x	x		x	x		x
<i>Corokia cotoneaster</i>	Korokia	x	x		x	x		x
<i>Cyathodes juniperina</i>	Mingimingi	x	x			x		x
<i>Discaria toumatou</i>	Matagouri	x			x	x		x
<i>Dracophyllum longifolium</i>	Inaka	x	x			x		x
<i>Dracophyllum uniflorum</i>	Turpentine shrub	x	x		x			x
<i>Gaultheria antipoda</i>	Tall snowberry	x		x	x	x	x	
<i>Hebe cupressoides</i>	Cypress Hebe	x				x		x
<i>Hebe odora</i>		x			x			x

Botanical Name	Common Name	Sun	Mid Sun	Shade	Moist	Dry	Sheltered	Exposed
<i>Hebe rakaiensis</i>		x			x	x		x
<i>Hebe salicifolia</i>	South Island Koromiko	x			x			x
<i>Hebe subalpina</i>		x			x	x		x
<i>Leptospermum scoparium</i>	Manuka	x	x		x	x		x
<i>Melicytus alpinus</i>	Porcupine shrub	x	x		x	x		x
<i>Myrsine divaricata</i>	Weeping mapou	x	x		x	x		x
<i>Olearia arborescens</i>	Southern Tree Daisy	x	x		x	x		x
<i>Olearia avicenniifolia</i>	Tree Daisy	x				x		x
<i>Olearia bullata</i>		x			x	x		x
<i>Olearia cymbifolia</i>		x	x		x	x		x
<i>Olearia fragrantissima</i>		x				x	x	
<i>Olearia hectori</i>		x			x	x		x
<i>Olearia lineata</i>	Tree Daisy	x	x		x	x		x
<i>Olearia nummulariaefolia</i>	Tree Daisy	x				x		x
<i>Olearia odorata</i>	Tree Daisy	x			x		x	
<i>Ozothamnus</i> sp.	Cottonwood	x			x	x		x
<i>Pimelea aridula</i>	NZ daphne	x			x	x		x
<i>Pseudopanax colensoi</i> var. <i>ternatus</i>	Mountain three finger		x	x	x	x		x

Grasses

Botanical Name	Common Name	Sun	Mid Sun	Shade	Moist	Dry	Sheltered	Exposed
<i>Aciphylla aurea</i>	Golden speargrass	x				x		x
<i>Aciphylla glaucescens</i>	Blue speargrass	x				x		x
<i>Astelia fragrans</i>	Bush lily		x	x	x		x	
<i>Astelia nervosa</i>	Mountain Astelia		x	x	x	x		x
<i>Carex coriacea</i>	NZ swamp sedge	x			x			x
<i>Carex maorica</i>	Carex	x	x		x			x
<i>Carex secta</i>	Purei	x	x		x			x
<i>Chionochloa conspicua</i>	Bush tussock	x	x		x	x		x
<i>Chionochloa rigida</i>	Narrow-leaved snow tussock	x			x	x		x
<i>Chionochloa rubra</i>	Red Tussock	x			x	x		x
<i>Cortaderia richardii</i>	South Island Toeotoe	x			x	x		x
<i>Festuca novae zelandiae</i>	Hard tussock	x				x		x
<i>Juncus distegus</i>	Wiwi		x		x			x
<i>Juncus gregiflorus</i>	NZ soft rush		x		x			x
<i>Juncus sarophorus</i>	Wiwi	x	x		x			x
<i>Phormium cookianum</i>	Mountain flax	x			x	x		x
<i>Phormium tenax</i>	Harakeke/swamp flax	x			x	x		x
<i>Poa cita</i>	Silver tussock	x			x	x		x
<i>Schefflera digitata</i>	Seven finger	x	x		x	x	x	
<i>Schoenus pauciflorus</i>	Bog rush	x			x		x	
<i>Typha orientalis</i>	Raupo / bullrush	x			x			x